



WOKINGHAM BOROUGH COUNCIL

A Meeting of the **PLANNING COMMITTEE** will be held virtually on **WEDNESDAY 9 SEPTEMBER 2020 AT 7.00 PM**

A handwritten signature in black ink, appearing to read 'Susan Parsonage', written in a cursive style.

Susan Parsonage
Chief Executive
Published on 1 September 2020

This meeting will be filmed for inclusion on the Council's website.

Note: The Council has made arrangements under the Coronavirus Act 2020 to hold the meeting virtually via Team Meetings, the meeting can be watched live at the following link: <https://youtu.be/M-wrRmQ6qc8>

Please note that other people may film, record, tweet or blog from this meeting. The use of these images or recordings is not under the Council's control.



WOKINGHAM BOROUGH COUNCIL

Our Vision

A great place to live, learn, work and grow and a great place to do business

Enriching Lives

- Champion outstanding education and enable our children and young people to achieve their full potential, regardless of their background.
- Support our residents to lead happy, healthy lives and provide access to good leisure facilities to complement an active lifestyle.
- Engage and involve our communities through arts and culture and create a sense of identity which people feel part of.
- Support growth in our local economy and help to build business.

Safe, Strong, Communities

- Protect and safeguard our children, young and vulnerable people.
- Offer quality care and support, at the right time, to prevent the need for long term care.
- Nurture communities and help them to thrive.
- Ensure our borough and communities remain safe for all.

A Clean and Green Borough

- Do all we can to become carbon neutral and sustainable for the future.
- Protect our borough, keep it clean and enhance our green areas.
- Reduce our waste, improve biodiversity and increase recycling.
- Connect our parks and open spaces with green cycleways.

Right Homes, Right Places

- Offer quality, affordable, sustainable homes fit for the future.
- Build our fair share of housing with the right infrastructure to support and enable our borough to grow.
- Protect our unique places and preserve our natural environment.
- Help with your housing needs and support people to live independently in their own homes.

Keeping the Borough Moving

- Maintain and improve our roads, footpaths and cycleways.
- Tackle traffic congestion, minimise delays and disruptions.
- Enable safe and sustainable travel around the borough with good transport infrastructure.
- Promote healthy alternative travel options and support our partners to offer affordable, accessible public transport with good network links.

Changing the Way We Work for You

- Be relentlessly customer focussed.
- Work with our partners to provide efficient, effective, joined up services which are focussed around you.
- Communicate better with you, owning issues, updating on progress and responding appropriately as well as promoting what is happening in our Borough.
- Drive innovative digital ways of working that will connect our communities, businesses and customers to our services in a way that suits their needs.

MEMBERSHIP OF THE PLANNING COMMITTEE

Councillors

Simon Weeks (Chairman)	Chris Bowring (Vice-Chairman)	Stephen Conway
Gary Cowan	Carl Doran	Pauline Jorgensen
Abdul Loyes	Andrew Mickleburgh	Malcolm Richards
Angus Ross	Rachelle Shepherd-DuBey	

ITEM NO.	WARD	SUBJECT	PAGE NO.
19.		APOLOGIES To receive any apologies for absence.	
20.		MINUTES OF PREVIOUS MEETING To confirm the Minutes of the Meeting held on 12 August 2020	5 - 18
21.		DECLARATION OF INTEREST To receive any declaration of interest	
22.		APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS To consider any recommendations to defer applications from the schedule and to note any applications that may have been withdrawn.	
23.	Finchampstead South	APPLICATION NO.201143 - LAND ADJACENT TO 166 NINE MILE RIDE, FINCHAMPSTEAD Recommendation: Conditional approval subject to legal agreement	19 - 46
24.	Finchampstead South	APPLICATION NO.201566 - LAND ADJACENT TO WYSE HILL LODGE, THE VILLAGE, FINCHAMPSTEAD RG40 4JR Recommendation: Refusal	47 - 92
25.	Evendons	APPLICATION NO.201345 - LAND AT FISHPONDS ROAD, WOKINGHAM, RG41 2QJ Recommendation: Conditional approval subject to legal agreement	93 - 128
26.	Bulmershe and Whitegates	APPLICATION NO.201370 - 20 PITTS LANE, EARLEY, WOKINGHAM, RG6 1BT Recommendation: Conditional approval	129 - 158

Any other items which the Chairman decides are urgent

A Supplementary Agenda will be issued by the Chief Executive if there are any other items to consider under this heading.

GLOSSARY OF TERMS

The following abbreviations were used in the above Index and in reports.

C/A	Conditional Approval (grant planning permission)
CIL	Community Infrastructure Levy
R	Refuse (planning permission)
LB	(application for) Listed Building Consent
S106	Section 106 legal agreement between Council and applicant in accordance with the Town and Country Planning Act 1990
F	(application for) Full Planning Permission
MU	Members' Update circulated at the meeting
RM	Reserved Matters not approved when Outline Permission previously granted
VAR	Variation of a condition/conditions attached to a previous approval
PS	Performance Statistic Code for the Planning Application
Category	

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**MINUTES OF A VIRTUAL MEETING OF THE
PLANNING COMMITTEE
HELD ON 12 AUGUST 2020 FROM 7.00 PM TO 10.18 PM**

Committee Members Present

Councillors: Simon Weeks (Chairman), Chris Bowring (Vice-Chairman), Stephen Conway, Carl Doran, Pauline Jorgensen, Abdul Loyes, Andrew Mickleburgh, Malcolm Richards, Angus Ross and Rachelle Shepherd-DuBey

Officers Present

Connor Corrigan, Service Manager – Strategic Development Locations, Planning Delivery
Judy Kelly, Highways Development Manager
Mary Severin, Borough Solicitor
Justin Turvey, Operational Manager – Development Management
Callum Wernham, Democratic & Electoral Services Specialist

Case Officers Present

Nick Chancellor
Stefan Fludger
Senjuti Manna
Graham Vaughan

11. APOLOGIES

An apology for absence was submitted from Councillor Gary Cowan.

12. MINUTES OF PREVIOUS MEETING

The Minutes of the meeting of the Committee held on 8 July 2020 were confirmed as a correct record and would be signed by the Chairman at a later date.

MEMBERS' UPDATE

There are a number of references to the Members' Update within these minutes. The Members' Update was circulated to all present at the meeting, and published on the WBC website. A copy is attached.

13. DECLARATION OF INTEREST

There were no declarations of interest.

14. APPLICATIONS TO BE DEFERRED AND WITHDRAWN ITEMS

There were no applications recommended for deferral, or withdrawn.

**15. APPLICATION NO.201149 - LAND EAST OF OAK AVENUE SOUTH OF
SADLER CRESCENT AND NORTH OF A329 LONDON ROAD RG40 1LH**

Proposal: Full planning application for a park and ride facility comprising access, car and motorcycle parking spaces, bicycle storage, bus stops, landscaping, drainage and ancillary development.

Applicant: Wokingham Borough Council (WBC)

The Committee received and reviewed a report, set out in agenda pages 23 to 58.

The Committee were advised that the Members' Update included:

- Various corrections to references of neighbouring property addresses;
- Confirmation that that assessment of impact on residential amenity was undertaken in relation to the above mentioned properties;
- An annotated version of the site plan was circulated to Members for their consideration.

In line with the given deadlines, one public written submission was received for this item. This submission was circulated to Members in advance, and noted on the evening. The submission as provided can be found below.

WSP provided the following statement in support of the application on behalf of the applicant:

- 1 “The Scheme is part of a local commitment to relieve congestion along key road corridors and is supported by Wokingham Borough Council (WBC) and Bracknell Forest Council (BFC) in their work to deliver cross-boundary solutions to local transport network issues. The proposed Site was previously identified as part of the Keephatch Beech development, and has been designated as a Park and Ride (P&R) facility within WBC’s Core Strategy (2010), reinforcing the case that a P&R Scheme at this location forms part of a long-established preference for the Council’s transport solutions for reducing congestion and improving connectivity to Wokingham and Bracknell.
- 2 The Scheme would complement other A329 strategic corridor improvement schemes promoted by both WBC and BFC in contributing to mitigate the impact arising from new developments. The Scheme will provide 254 car parking spaces and provide an alternative travel choice along the A329 corridor. The Scheme aligns with the Council’s ambitions as the Site is allocated in WBC’s Local Transport Plan (Strategy 2011 – 2026).
- 3 The desired outcome of the Scheme is to improve accessibility through public transport by providing an alternative method of transport into Wokingham and Bracknell town centres, which would encourage more people to switch from using the private car to a more sustainable transport mode. By removing car trips, the Scheme would result in improved journey times to Wokingham and Bracknell town centres, especially at peak times which would have beneficial effects on reducing congestion and therefore driver stress, whilst facilitating air quality improvements and noise reduction. Overall, the Scheme will ensure public transport is more inclusive by ensuring good quality bus services to and from key destinations in the area.
- 4 The car park design include spaces and charging points for electric vehicles which will help reduce the emissions that contribute to climate change. In 2019 WBC declared a “climate emergency”, the Scheme contributes to the steps WBC is taking to reduce adverse environmental impacts and improve public health in the area, and to make WBC carbon neutral by 2030.

- 5 The Planning, Design and Access Statement (PDAS) submitted with the planning application provides an overview of the Scheme; sets out the need for the Scheme; assessed the material considerations, and examined how any residual adverse effects will be mitigated. The PDAS has assessed the Scheme against relevant planning policy and material consideration.”

Members were asked in turn for any comments or queries on this application. Specific comments or queries are summarised below.

Malcolm Richards commented that as a Ward Member for this area, he had been aware for some time of the proposed development. Malcolm added that should this land not be developed into a park and ride, the land would revert to the developer. Malcolm was of the opinion that this was a good location for a park and ride facility, with frequent existing buses passing by the site. Malcolm sought clarification regarding the hours which lighting would be operational on the site, and queried whether a vending machine could be located on site. Nick Chancellor, case officer, stated that there was currently no detailed proposals for lighting hours, however there was a proposed condition to control lighting hours. Nick added that later in the process, when more was known about how the site would be managed, more detail would be available regarding lighting. Nick stated that there were no details regarding a vending unit, however there was scope for small outbuildings such as a toilet block.

Stephen Conway stated that he had some reservations regarding this application, including whether this was the right location for a park and ride in the North Wokingham SDL. However, Stephen stated that the Committee had to look at the application in front of them. Stephen stated his hope that adequate protections including landscaping would be provided to protect local residents.

Carl Doran queried which buses would serve the proposed park and ride, whether a bus lane was planned on the A329, and what would be the charging structure for use of the park and ride. Judy Kelly, Highways Development Manager, stated that the existing 4 and X4 services ran past the proposed site, at an approximate frequency of 4 services per hour. Judy added that a bus lane was not currently planned on the A329, and the fee charging structure had yet to be finalised. Carl added that the business case for this application relied on economic sustainability under the NPPF, which in his opinion would not be achieved by the proposals as there was to be no dedicated bus service, and the overall proposals would not be an attractive proposition for potential users. Judy Kelly stated that there was a sum of S106 money set aside for public transport provision within the North Wokingham SDL. Connor Corrigan, Service Manager – Strategic Development Locations and Planning Delivery, stated that the proposal would serve both Wokingham and Bracknell, and possibly Twyford in the future. Connor added that this scheme was funded by the LEP, and there was potential for a dedicated bus lane and dedicated bus service in the future.

Pauline Jorgensen commented that there were proposals to protect the nearby ancient woodland and residential accommodation with landscaping. Pauline added that there was no local train station at the proposed site as there was at the Winnersh park and ride, and therefore people would be more likely to catch the bus into Reading. Pauline commented that the land was being handed over to WBC, the business case had been approved by the LEP, and the LEP were funding the scheme.

Abdul Loyes queried whether there had been any significant changes to the application since its conception in 2015. Nick Chancellor stated that the proposals in front of Members was what was expected from the outline application and reserved matters.

Andrew Mickleburgh sought assurances that the impact of the proposals on both existing and future housing had been given substantial weight, queried whether the screening matrix process had caused any harm to neighbouring properties, and asked whether the business case was material consideration, and what 'finer details' could be amended should the application be approved. Nick Chancellor stated that the screening process had been carried out prior to the application, and the conclusion was that it did not cause significant harm to either existing or future neighbouring properties. Nick stated that minor details were commonly looked at by officers after approval, and if any aspects were deemed unacceptable then professional officers would reassess these specific aspects.

Simon Weeks sought clarification that the Committee needed to assess this application based on material planning considerations. Mary Severin, Borough Solicitor, confirmed this to be correct.

Angus Ross queried whether the land would remain as WBC land after handover should the park and ride fail, whether the CCTV was live monitored or recorded, and whether the hours of operation had been finalised. Nick Chancellor stated that the S106 was conditioned only for a park and ride, therefore should the park and ride fail the land would go back to the developer. Nick added that he was not aware of any detail regarding the CCTV, however this would be covered by condition. The provisional hours of operation were 7am-7pm, however the parking management scheme would allow more nuance and control.

A number of Members raised concerns with the provisional hours of operation were insufficient for a site to be used as a park and ride. By contrast, a number of Members were concerned that this was not a planning consideration. It was proposed by Angus Ross, and seconded by Pauline Jorgensen that hours of operation be conditioned between 6.30am and 11pm. Upon being put the vote this proposal was lost.

It was proposed that hours of operation and hours of lighting operation be agreed in consultation with the Chair of the Planning Committee and the Ward Members. This was unanimously agreed by the Committee.

RESOLVED That application number 201149 be approved, subject to conditions and informatives as set out in agenda pages 24 to 32, with the hours of operation and hours of lighting operation to be agreed in consultation with the Chair of the Planning Committee and the Ward Members as resolved by the Committee.

16. APPLICATION NO.200378 - DINTON ACTIVITY CENTRE, SANDFORD LANE, HURST, RG10 0SU

Proposal: Full application for the erection of an activity centre, with activity hall, changing facilities, classroom facility, ancillary offices and café, landscaping and parking following demolition of the existing Dinton Activity Centre.

Applicant: Wokingham Borough Council (WBC)

The Committee received and reviewed a report, set out in agenda pages 59 to 106.

The Committee were advised that the Members' Update included:

- Amended condition 2, to now include the relevant drawing numbers;
- Amended condition 14;
- Replacement of informative 3, and new informative 4;
- Amended condition 19;
- Removal of paragraph 60 of the officer report;
- Correction that the floor space is 622 square meters, however an employment skills plan was still triggered as the site was over 1 hectare and this application was therefore a major application;
- Confirmation that the proposals would create 3 additional permanent jobs, and other more variable seasonal jobs during the summer months.

In line with the given deadlines, one public written submission was received for this item. This submission was circulated to Members in advance, and noted on the evening. The submission as provided can be found below.

The following statement in support of the application was provided on behalf of the applicant:

“The proposals presented here this evening are to replace and expand existing important community uses that are offered on behalf of Wokingham Borough Council. The existing Dinton Activity Centre has seen better days and the proposals presented here are to provide modern, high-quality and sustainable buildings, to allow the Council to continue offering a range of outdoor activities, along with important Council run courses.

The improved facilities, whilst not expanding the day-to-day offering of the centre during the peak season, will allow the centre to operate through a larger portion of the year, providing important facilities to children and adults. This is largely thanks to the proposed new activity hall and improved indoor classroom area that can be opened up to provide additional lecture theatre style space.

The proposals are a result of extensive pre-application discussions with the Council's officers, presentations to members of the public and careful review of potential impacts that the proposed development may have on the locality. It is considered that the resultant

development has been carefully considered and will improve the offer at the site, whilst having no impact on neighbouring properties.

Whilst not a specific requirement of this proposal, due to its scale, a number of sustainable technologies will be utilised in the building to ensure it reduces its energy consumption needs and lowers its CO2 output.

Members, the scheme presented here this evening has been carefully considered, accords with relevant planning policy and provides a valuable and much needed contribution to local community services provided by the Council. As such, the Council's Officer has recommended approval of the application and I request members support the positive recommendation and approve this application."

Members were asked in turn for any comments or queries on this application. Specific comments or queries are summarised below.

Simon Weeks commented that the buildings at the existing activity centre were tired in appearance, and this application was an opportunity to improve the existing offering.

Rachelle Shepherd-DuBey queried what would happen to the existing tenants during the construction phase. Stefan Fludger, case officer, stated that it was up to WBC as to who would use the buildings, however it was conditioned to allow for the retention of the existing buildings during the construction phase to allow existing activities to continue. Rachelle queried whether there were any other sustainable transport routes planned to access the site. Judy Kelly, Highways Development Manager, stated that the proposed travel plan would look at sustainable travel to and from the site, including cycle storage.

Angus Ross sought clarification that the elevated walkway to the Emmbrook had in fact been removed from the scheme. Stefan Fludger confirmed this to be correct, and added that reference to the elevated walkway in paragraph 43 of the officer report was incorrect.

Malcolm Richards queried whether sprinklers would be installed in the training room, as it had an educational function. Justin Turvey, Operational Manager – Development Management, stated that sprinklers were covered under building regulations and were not a material planning consideration.

Andrew Mickleburch queried why the proposal was not aiming for excellent or outstanding on the BREEAM standard for sustainable developments. Justin Turvey stated that there were no requirements for an excellent or outstanding BREEAM rating, and going above the recommended 'very good' rating required a policy justification. Justin added that an excellent rating added an additional significant cost to the development.

Pauline Jorgensen queried whether consideration had been given to restricting the regular hire of the hall for events such as music. Stefan Fludger stated that the nearest dwelling was approximately 42 metres away, and the proposal was for an activity centre with other ancillary uses which came with restrictions.

A number of Members sought clarification as to whether photovoltaic panels would be present on the proposed building. Stefan Fludger confirmed this to be correct.

RESOLVED That application number 200378 be approved, subject to conditions and informatives as set out in agenda pages 60 to 68, amended conditions 2, 4 and 19 as set

out in the Members' Update, replacement of informative 3 and addition of informative 4 as set out in the Members' Update.

17. APPLICATION NO.200951 - SONNING GOLF CLUB, DUFFIELD ROAD, WOODLEY, RG4 6GJ

Proposal: Application for the approval of reserved matters pursuant to outline planning consent 161529 (APP/X0360/W/17/3167142) for the erection of 13 dwellings with associated highway works, public open space and landscaping. Details of Layout, Appearance, Landscaping and Scale to be determined.

Applicant: Mr Chris Rees, Alfred Homes

The Committee received and reviewed a report, set out in agenda pages 107 to 164.

The Committee were advised that the Members' Update included:

- Amendment to recommendation A;
- Updated to condition 2 to include the approved plans.

In line with the given deadlines, four public written submissions were received for this item. These submissions were circulated to Members in advance, and noted on the evening. The submissions as provided can be found below.

Sonning Parish Council provided the following submission in objection to the application:

"Sonning is a Limited Development Location with limited access to shopping facilities and opportunities to access facilities within acceptable walking distance. Occupiers would rely heavily on cars. Properties immediately to the left of the site are low, 1 ½ to 2 storey, individually designed dwellings, contributing to the area's rural character. The plot, together with the Golf Club is in the countryside, where inappropriate development is considered 'harmful' and acts as a green buffer between Sonning and Woodley.

The outline plans (161529), allowed at appeal, included an illustrative view of the proposed development, showing modest detached 1 ½ storey dwellings, some detached, some semi-detached and a terrace of three.

The proposed dwellings are large 2 ½ storey dwellings of some height, that will tower over neighbouring dwellings and aimed at larger families than previously indicated. The 8 '5' bedroom, detached dwellings all have 'bonus' rooms on the second floor and must be considered as 6-bedroomed. Therefore, is sufficient parking provided?

These changes will have a greater impact on the area than previously suggested at Appeal and represents overdevelopment of the site and are out of keeping with the area due to their height, bulk and size.

The Appeal Inspector said of 161529 '***it is likely that the layout would be of an increased density and less spacious than the majority of surrounding development. The residential development would also diminish the existing value of green open space when viewed from adjacent residential properties***' This assessment was based on the illustrative view provided with the application. The impact will be so much greater if the proposed much larger dwellings are approved.

The Inspector also said: '***The proposal would be contrary to the countryside protection, environmental quality and landscape protection aims of policies CP1, CP3, CP9 and CP11 of the Core Strategy and policies CC02 and TB21 of the Wokingham Borough Managing Development Delivery Local Plan 2014 (MDD)***'.

In December 2019, Sonning Parish Council carried out a speed survey along that stretch of Pound Lane with support from WBC Highway Officers, in December 2019. A daily vehicle count of almost 7000 a day southbound towards the proposed entrance/exit, which equates to 14000 vehicles per day. Speeds of 65 mph and 60 mph, were recorded, indicating how dangerous the proposed exit would be, which is close to the scene of a recent fatal accident."

Paul Etherington, resident, provided the following submission in objection to the application:

"The planning reasons highlighted in my, and many others' previous submissions in relation to this site/development remain, but the Planning Inspectorate regrettably elected to ignore them for reason of land supply which remains contested.

I would highlight that since the previous substantive application, Pound Lane, that many objectors highlighted as a dangerous stretch of road, has tragically seen a fatal accident. We highlighted:

- speeding
- flooding
- that the proposed access point is on a bend
- dangerously close to the points at which Mustard Lane, Duffield Road & West Drive join Pound Lane

Had the applicant chosen to provide site access through the golf club car park (ringed on their plan) perhaps at the indicated point into the car park it would be considerably less dangerous than the position proposed.

It would also avoid the developer cutting through the tree line/verge which are owned by Wokingham Borough and covered by Tree Preservation Order TPO 1505/2015. Notwithstanding that one mature TPO'd oak tree was mysteriously felled over a Bank Holiday weekend, it is sprouting well from what was left and there are still a number of trees and an attractive hedgerow making up the street scene (which officers previously highlighted as valuable)."

Chris Rees, applicant, provided the following submission in support of the application:

"1.1 This Statement has been prepared in support of the consideration of the Reserved Matters Application on land at Sonning Golf Club, pursuant to the Outline Planning Approval granted for the erection of 13 dwellings on land adjacent to the Golf Club, at which point the principle and the vehicular access for thirteen dwellings was approved.

1.2 The Reserved Matters application has been the subject of a pre-application submission with the Borough Council and has therefore been shaped by the advice received from Officers concerning the siting, scale, landscaping and appearance of the houses in line with best practice advocated by the Council.

1.3 As per the Outline Approval, the proposal consists of eight open market properties and five affordable housing properties, set around a central landscaped green. The houses are tenure blind and adopt a classical approach to their architecture and built form.

1.4 The proposal has been supported by a detailed landscape and planting plan, the focus of which is the shared green space within the centre of the development to which the residents have access and can enjoy.

1.5 The application has been the subject of full due diligence with account taken of the distances and orientation to the adjacent residential dwelling to the north and the long-term preservation of the trees on site subject to the tree preservation order.

1.6 Moreover, the proposal has been shaped and formed with Officers, with no objections from any statutory consultee and with a resulting architectural approach that will add to the character of the area and deliver an array of housing types and tenure.

1.7 With the principal of residential development and the access already established, we would respectfully ask that the outstanding Reserved Matters for the 13 new homes before the Committee today are approved.”

Michael Firmager, Ward Member, provided the following submission in objection to the application:

“I was aware this application as a major development would come before the Planning Committee if officers were minded to approve the application. However, I listed the application as the local Borough Council Member.

I am against this application for the following reasons:-

- 1) It is out of character with the area. Also, it is overbearing and with restricted room for development;
- 2) It is inconsistent with the conditions set out by the Appeal Inspector, especially with the increase in the height of the buildings, which is of detriment to the character to the village;
- 3) The access will be onto Pound Lane causes me great concern, which is extremely dangerous being on a bend. Pound Lane itself can be either a fast road or one with traffic jams depending upon the amount of traffic on the A4 going into Reading or onto the A329(M). This development will only add more traffic to an already over loaded road network.

I hope this committee will take on my comments mentioned here and before, together with those of Sonning Parish Council and the Sonning & Sonning Eye Society and refuse this application.”

Members were asked in turn for any comments or queries on this application. Specific comments or queries are summarised below.

Simon Weeks commented that an Inspector had approved a previous application for this site at appeal, which approved access to the site. Simon queried whether the Inspector would have been aware that a TPO tree would be required to be removed at the site. Justin Turvey, Operational Manager – Development Management, stated that an inevitable result of the Inspector’s decision to approve the grant of planning permission was that TPO trees would have to be removed. Simon queried how many new trees would be planted on

the site. Senjuti Manna, case officer, stated that 25 new trees and 16 large shrubs would be planted as part of this application.

Chris Bowring commented that although the outline application had approved the access to the site, the layout of that proposal was also a material consideration. Chris added that the Inspector had commented that the 13 new houses would help to provide for the housing shortfall in the area.

Stephen Conway commented that the Committee were constrained by the Inspectors previous decision regarding this site. Stephen added that there was an unfortunate relationship between the garages of plots 2 & 3 and neighbouring property no.101a, however this was unlikely to constitute a reason for refusal.

Carl Doran queried whether the junction improvement had been carried out, and whether the affordable housing units were of a similar scale and kind as the other housing units. Judy Kelly, Highways Development Manager, stated that the technical approval for the junction improvement was going through at the moment, and the improvements should be carried out shortly after approval. Justin Turvey stated that the affordable housing units were the same as the other housing units in a planning sense, as they met the relevant planning tests. Wokingham Borough Council's (WBC's) affordable housing team had specified their preferred mix of affordable units for this site, based on local need.

Pauline Jorgensen queried what the bonus rooms could be used for. Justin Turvey stated that a bonus room was a type of terminology used by developers, and that in essence the room could be used by the eventual buyer for any desired usage within reason.

Abdul Loyes queried why plot 13 had a 10m rear amenity distance, compared to the 11m rear amenity distance that plots 10 through 12 for example. Senjuti Manna stated that although the Borough Design Guide suggested an 11m rear amenity distance, the TPO trees to the rear of plot 13 constrained the length of the garden. However, plot 13 was wider than plots 10 through 12, and therefore had a larger rear garden area overall and was therefore deemed acceptable.

Andrew Mickleburgh queried how the density of the site compared to the outline application, asked why the application before the Committee included two and a half storey buildings compared to one and a half storey buildings considered at appeal, and queried whether the impact on local services such as GP surgeries and schools as a result of the additional housing was a material consideration. Simon Weeks confirmed that any development of any size added additional strain for local services, and S106 or CIL contributions funded local amenity provision. Senjuti Manna stated that the density of 16.25 habitable rooms per hectare was the same as proposed at the allowed appeal. Senjuti added that plans which the Inspector considered had buildings up to 10.2m in height which was equivalent to two and a half storeys, therefore there was no significant difference. Senjuti added that the site now had an additional 300m² plot coverage compared to the plot considered by the Inspector.

Malcolm Richards queried how the 13 unallocated parking spaces would be managed. Senjuti Manna stated that condition 8 included a car parking management plan, which would also cover unallocated parking spaces on the site.

Angus Ross asked for confirmation as to how the required number of parking spaces was calculated. Judy Kelly confirmed that this calculation was based on a formula which was

inputted into a spreadsheet based on the number of habitable rooms on site. Judy added that a garage was classed as half of a parking space.

Rachelle Shepherd-DuBey queried whether photovoltaic panels were being implemented at the proposed development. Justin Turvey stated that there was no indication that photovoltaic panels were planned for the site, and this was not a planning matter. Simon Weeks added that until this issue was backed up by local and national planning policy WBC could not insist on an applicant installing photovoltaic panels at a development.

Simon Weeks proposed that an informative be added, stating that WBC was keen to be an early adopter for new developments within the Borough to install technology to minimise carbon output, and the Committee wished to encourage the applicant to incorporate appropriate technologies at this development to meet WBC's goal. This was unanimously agreed by the Committee, and added to the list of informatives as contained in the officer report.

RESOLVED That application number 200951 be approved, subject to conditions and informatives as set out in agenda pages 108 to 112, amendment to Recommendation A an updated condition 2 as set out in the Members' Update, and additional informative asking the applicant to consider installing technologies to minimise the carbon output of the dwellings, as resolved by the Committee.

18. APPLICATION NO.201143 - LAND ADJACENT TO 166 NINE MILE RIDE, FINCHAMPSTEAD

Simon Weeks took no part in the discussion or voting for this item.

Chris Bowring assumed the Chair for the duration of this item.

Proposal: Full planning application for the proposed addition of four pitches to an existing four pitch caravan park for gypsy and travellers, plus reconfiguration of existing site.

Applicant: Mr D Reed

The Committee received and reviewed a report, set out in agenda pages 165 to 188.

The Committee were advised that there were no Members' Updates.

In line with the given deadlines, three public written submissions were received for this item. These submissions were circulated to Members in advance, and noted on the evening. The submissions as provided can be found below.

Gordon Veitch, Finchamstead Parish Council, provided the following submission in objection to the application:

"We object to this inappropriate overdevelopment of the site. The proposed development would cause issues with privacy for residents of The Dittons due to the close proximity of the static/mobile homes.

We believe WBC currently has adequate provisions for gypsy and traveller pitches. We understand the existing plans appear inaccurate, the layout of existing pitches is incorrect and do not represent the current layout of the site.

If WBC is minded to approve this application we ask that conditions are added to any approval:

- Siting of mobile homes to be an acceptable distance from adjoining properties.
- Landscaping to offer satisfactory visual protection to existing properties.
- Light pollution, any street lights to be positioned and directed within the site.”

Emily Temple, agent, provided the following submission in support of the application:

“We are pleased to bring forward this site allocated in the draft local plan update, for prospective development. As Councillors may know, the land at number 166 has been home to an existing gypsy and traveller site since 2008 when two pitches were approved, with expansion to 4 pitches following planning approval in 2014.

The site is located immediately adjacent to the Modest Development Location of Finchampstead. The site is operated by the occupants and owner of 166 Nine Mile Ride; being so close they are able to keep a watchful eye over the running of the site. The development would also use the existing access and hardstanding so there would be no apparent visual change when viewed from the road.

The current council need for pitches is identified as 5.5 pitches. Whilst some permissions have been granted they have not yet been implemented. Being an extension of an existing site, the land at number 166 is both suitable for development, available and deliverable immediately. This meets an ongoing need for household expansion as existing Gypsy Traveller children in the area grow up and form their own independent households. A larger site such as proposed is well below the 15 pitch maximum set in Government advice, whilst still accommodating larger single family groups.

I am pleased to note there is no objection from statutory consultees such as Highways and Environmental Health. I can confirm a written response was sent to a Planning Contravention Notice issued to the applicant during the course of the application. The site is being operated fully in accordance with the existing permission for 4 pitches, and the applicant is committed to complying with the conditional requirements indicated by officers, such as landscaping, and a legal agreement to secure SPA mitigation.

I hope that you are reassured by my comments today. We trust that we have worked well with officers throughout the application process to date, responding to queries as requested. It's therefore respectfully requested that your officer's recommendation be supported today. Thank you.”

Simon Weeks, Ward Member, provided the following submission in objection to the application:

“Residents have expressed significant concern about this proposal to double the number of pitches on this site within a residential area. 4 pitches were allowed on appeal in 2009.

The site is constrained as follows:

- a TPO applies to the site;
- 12 established residential houses share a boundary with this site;
- the site is designated as Countryside;

- WBC currently has a 9.09 years land supply for gypsy and traveller pitches;
- the application conflicts with a CP11.

Despite the TPO, a number of trees on the site have been lost but as you will see at paragraph 31, it is noted trees *are shown illustratively*. We should adopt a precautionary approach and secure an Arboricultural Assessment first, to ensure no further harm to the remaining protected trees.

Looking at the proposed site layout, you will see that 3 of the new proposed pitches (numbers 5, 6 and 7) are positioned right on the boundary and will impact on the amenity of numbers 8 and 9 The Dittons. I have received repeated complaints over the last few years about burning of plastic waste and noise, so the positioning of additional pitches so close to the boundary is inappropriate and likely to exacerbate this problem.

It is possible the site could be re-configured to minimise the potential impact on neighbours. Additionally an appropriate survey of the TPO is required to support this application, so I cannot support this application and would urge the Committee to refuse it in its current form.”

Members were asked in turn for any comments or queries on this application. Specific comments or queries are summarised below.

Pauline Jorgensen queried how Members could assess the relation of the proposals to the properties at The Dittons if the pitch positions were only indicative. Justin Turvey, Operational Manager – Development Management, stated that it could be conditioned that additional landscaping be provided for screenage, or that pitches not be situated in a certain area of the site.

Malcolm Richards queried whether the proposed layout of the pitches was deemed as acceptable to officers. Graham Vaughan, case officer, stated that the proposed layout was acceptable to officers, and demonstrable harm needed to be shown in order for an application to be refused.

Andrew Mickleburgh queried whether the site could accommodate an additional four caravan pitches whilst maintaining residential amenity, queried whether there were any large trees due to be cut down, asked whether there was any additional planting planned for the outer site to screen neighbouring properties, and queried whether there was sufficient room on site for non-caravan parking. Graham Vaughan stated that officers were satisfied that the site could accommodate a total of eight caravan pitches without sacrificing residential amenity. Graham stated that if the site damaged any root protection areas of nearby trees, the siting of the caravans could be altered. Graham stated that condition 3 required an approved landscaping scheme to be submitted to the Council prior to development. Judy Kelly stated that there was no specific parking standards for gypsy and traveller sites, however there was sufficient room for parking of vehicles on site.

A number of Members were concerned about the separation distances between the proposed and existing pitches. Justin Turvey stated that the nearby Dittons residential properties were terraced, and a clear reason needed to be given as to why those dwellings could be terraced but caravans could not be grouped together.

Stephen Conway commented that the proposals were in contrary to CP11, however there were special rulings for gypsy and traveller sites. Justin Turvey stated that officers had

accepted that the proposals were contrary to CP11, however TB10 of the MDD anticipated this conflict and therefore officers had deemed the proposals as acceptable.

Angus Ross proposed that the application be deferred in order for a site visit, or virtual replacement, to be undertaken to assess whether the proposals conformed to separation distance guidelines as set out in the Borough Design Guide, and to assess whether the proposed layout of pitches was practically workable whilst not causing harm to nearby residential dwellings. This proposal was seconded by Chris Bowring and put to the vote.

RESOLVED That application number 201143 be deferred, to allow a site visit or virtual replacement to be undertaken to assess whether the proposals conformed to separation distance guidelines as set out in the Borough Design Guide, and to assess whether the proposed layout of pitches was practically workable whilst not causing harm to nearby residential dwellings.

Simon Weeks resumed the Chair.

Agenda Item 23.

Application Number	Expiry Date	Parish	Ward
201143	10 th September 2020	Finchampstead	Finchampstead South;

Applicant	Mr D Reed
Site Address	Land adjacent to 166 Nine Mile Ride, Finchampstead, Wokingham, RG40 4JA
Proposal	Full planning application for the proposed addition of four pitches to an existing four pitch caravan park for gypsy and travellers, plus reconfiguration of existing site.
Type	Full
PS Category	17
Officer	Graham Vaughan
Reason for determination by committee	Listed by Councillor Weeks

FOR CONSIDERATION BY	Planning Committee on Wednesday, 9 September 2020
REPORT PREPARED BY	Assistant Director – Place

SUMMARY
<p>The application is before committee following a deferral from the meeting of 12 August 2020. At the time, Councillors raised concerns with regard to the site layout in terms of movement of vehicles, amenity space and the relationship of the site to neighbouring dwellings. A revised site layout plan has been sought to address these issues and therefore the committee is asked to consider this information. For clarity, this does not alter officer's recommendation for approval given the planning merits are the same or improved. The original committee report is attached as an appendix to this report.</p>

RECOMMENDATION
<p>That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following:</p> <p>A. A legal agreement to secure the provision of Suitable Alternative Natural Greenspace (SANG) and Strategic Access Management and Monitoring (SAMM) to offset the impact on the Thames Basins Heaths Special Protection Area. If the Agreement is not completed within 3 months of the date of this resolution, Planning Permission will be refused unless the Operational Manager in consultation with the Chairman of the Planning Committee agree to a later date.</p> <p>1. Conditions and Informatives:</p> <p>Conditions and Reasons</p> <p>1. Timescale - The development hereby permitted shall be begun before the expiration of three years from the date of this permission. <i>Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).</i></p> <p>2. Approved details - This permission is in respect of the submitted application plans and drawings numbered 500.C, 501.H, 1000 and 1050.A received by the local planning authority on 14 May 2020. The development shall be carried out in accordance with the</p>

approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Landscaping - Prior to the commencement of the development there shall be submitted to and approved in writing by the local planning authority a scheme of landscaping, which shall specify species, planting sizes, spacing and numbers of trees/shrubs to be planted, and any existing trees or shrubs to be retained. Planting shall be carried out in accordance with the approved details in the first planting and seeding seasons following the occupation of the building(s). Any trees or plants which, within a period of 5 years from the date of the planting (or within a period of 5 years of the occupation of the buildings in the case of retained trees and shrubs) die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species or otherwise as approved in writing by the local planning authority.

Reason: To ensure adequate planting in the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21 (and TB06 for garden development).

4. Protection of trees - a) No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as

so-approved (hereinafter referred to as the Approved Scheme).

b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.

c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.

d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence
Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

5. With regard to pitches 5, 6, and 7, no static caravan shall be stationed on the land within 5 metres of the south eastern site boundary.

Reason: In the interests of visual amenity. Relevant policy: Core Strategy: policies CP1, CP3 and CP11 and Managing Development Delivery Local Plan policy TB21.

6. Parking and turning space to be provided - No part of any pitches hereby permitted shall be occupied or used until the vehicle parking and turning space has been provided

in accordance with the approved plans. The vehicle parking and turning space shall be retained and maintained in accordance with the approved details and the parking space shall remain available for the parking of vehicles at all times and the turning space shall not be used for any other purpose other than vehicle turning.

Reason: To provide adequate off-street vehicle parking and turning space and to allow vehicles to enter and leave the site in a forward gear in the interests of road safety and convenience and providing a functional, accessible and safe development and in the interests of amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

7. Cycle parking to be provided - No pitch shall be occupied until secure and covered parking for cycles has been provided in accordance with the approved drawing (s)/details. The cycle parking/ storage shall be permanently so- retained for the parking of bicycles and used for no other purpose.

Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 9 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

8. Access to be provided - No pitch shall be occupied until the access has been constructed in accordance with the approved plans.

Reason: In the interests of highway safety and convenience. Relevant policy: Core Strategy policies CP3 & CP6.

9. Access surfacing - No pitch shall be occupied until the vehicular access has been surfaced with a permeable and bonded material across the entire width of the access for a distance of 10 metres measured from the carriageway edge.

Reason: To avoid spillage of loose material onto the highway, in the interests of road safety. Relevant policy: Core Strategy policy CP6.

10. Restriction of occupation - The site shall not be permanently occupied by any persons other than gypsies and travellers as defined in Annex 1 of Planning Policy for Traveller Sites (August 2015) (or any subsequent definition that supersedes that document) their spouses and resident dependants.

Reason: To ensure continuing provision for the needs of the gypsy population. Relevant policy: Planning Policy for Traveller Sites (August 2015), Core Strategy policy CP2 and Managing Development Delivery Local Plan policy TB10

11. Restriction of vehicle use - No vehicle over 3.5 tonnes unladen weight shall be stationed, parked or stored on this site.

Reason: In the interests of highway safety and the amenities of the area. Relevant policy: Core Strategy policies CP1, CP3, CP6 & CP11 and Managing Development Delivery Local Plan policy TB21.

12. There shall be no more than 8 permanent gypsy and traveller pitches in total on the site as show on the submitted plan 501.E Proposed Layout. There shall be no more than 1 static and 1 touring caravan per pitch, as defined in the Caravan Sites and Control of Development 1960 and the Caravan Sites Act 1968 stationed at any time.

Reason: In the interests of visual amenity and infrastructure provision. Relevant policy: Core Strategy policy CP2, CP3 and CP4, and Managing Development Delivery Local Plan policy TB21.

13. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) (or any Order revoking and re-enacting the Order with or without modification), no external lighting shall be installed on the site or affixed to any structures on the site except in accordance with details that have first been submitted to and approved in writing by the Local Planning Authority.

Reason: Reason: In the interests of visual and residential amenity. Relevant Policy: Core Strategy Policies CP1, CP2 and CP3.

Informatives

1. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of:

- addressing concerns relating to highway safety;

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

2. This permission should be read in conjunction with the legal agreement under section 106 of the Town and Country Planning Act dated [INSERT], the obligations in which relate to this development.

3. The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear please contact the case officer to discuss.

4. WBC Landscape Officer advice regarding Condition 3:

I suggest that the Planting Specification be changed to read as follows;

New hedge planting to contain 20% Hawthorn, 20% Blackthorn, 20% Rowan, 20% Beech, 20% Oak. Plant in a double staggered row 450cm apart at 45cm centres.

Interspersed with trees; Birch (*Betula pendula*) and Lime (*Tilia 'Winter Orange'*) – Sycamore will grow very big and have a dense canopy whilst Birch will have a lighter canopy and Lime will have winter interest and only reach 8m at maturity. The trees should be planted at 10-15m centres to ensure at maturity there are gaps between the canopies to avoid shading. I have included Rowan and Oak in the hedge mix as these are found within the TPO.

Please update the planting information and submit as a Landscape Condition and include the size and the numbers of plants required. All plants should be protected with guards until established and then removed (or use biodegradable guards). Trees should be double staked and tied – and these removed once trees are established.

PLANNING ISSUES

1. This application was considered by the committee on Wednesday 12th August 2020 and it was resolved to defer the determination of the application. This was due to concerns raised by councillors that the layout of the site was not appropriate and would cause harm in planning terms due to the lack of space for vehicle parking and turning; the lack of amenity space; the inability to move caravans past pitches 5, 6 and 8; and, the relationship of the site with properties to the east at The Dittons.
2. It is considered useful to provide information regarding best practice for the layout of pitches and the overall site. Whilst published in 2008, the 'Designing Gypsy and Traveller Sites Good Practice Guide' provides guidance at a national level. It should be noted that the Borough Design Guide also advises similar considerations for new gypsy and traveller sites. Specifically, point R24 states "The layout and design of gypsy sites should provide a safe living environment that meets the needs of the residents, whilst respecting the character of the area".
3. The Borough Design Guide goes on to state the key considerations for site layout include "a clear demarcation of boundaries that is sympathetic to the character of the surrounding area", "a clear gap of 3m inside site perimeter boundaries for fire prevention" and "a degree of privacy for individual households whilst maintaining a sense of community". For the layout of individual pitches "adequate space for car parking on each pitch", "a hard standing area suitable for use by trailers, touring caravans or other vehicles" and "an amenity building to provide as a minimum water and electricity supply, toilet, personal washing and laundry facilities".
4. The applicant has provided an updated site layout plan which indicates parking provision of two cars for each pitch with appropriate turning possible on the site. The layout plan also indicates that the gap between pitches 5, 6 and 8 would be 4.0 metres which would be sufficient to allow a tourer caravan to pass. Additionally, swept path analysis has been provided to show how tourer caravans would be located on each pitch. This has been considered by the Council's Highway Officer who does not raise any objection in this respect. As such, it is considered that the plan indicates sufficient space would be provided on the site and on each pitch to provide suitable living conditions which would be in line with guidance. With regard to amenity space, it is considered that each pitch provides an area where typical garden furniture or an area for drying clothes could be accommodated. Additionally, the wider site has areas where children could play if required.
5. The site layout plan also includes greater landscaping at the south eastern boundary of the site with regard to dwellings at The Dittons. Additionally, the static caravans have been indicated as being 5.0 metres from the boundary when previously this was 2.5 metres. It is noted that the Borough Design Guide advises suitable locations of sites should consider "integration between the site and local community" and "visual and acoustic privacy". The increased landscaping buffer along this boundary and the improved separation distance from the static caravans to the neighbouring dwellings is considered a positive change that would enable the new pitches to better integrate into the area. An additional condition has been added to ensure that the 5.0 metre gap to the boundary would remain with regard to the static caravans. On this basis, the location of the pitches would not result in harm in planning terms and is therefore acceptable to officers.

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Application Number	Expiry Date	Parish	Ward
201143	13 th August 2020	Finchampstead	Finchampstead South;

Applicant	Mr D Reed
Site Address	Land adjacent to 166 Nine Mile Ride, Finchampstead, Wokingham, RG40 4JA
Proposal	Full planning application for the proposed addition of four pitches to an existing four pitch caravan park for gypsy and travellers, plus reconfiguration of existing site.
Type	Full
PS Category	17
Officer	Graham Vaughan
Reason for determination by committee	Listed by Councillor Weeks

FOR CONSIDERATION BY	Planning Committee on Wednesday, 12 August 2020
REPORT PREPARED BY	Assistant Director – Place

SUMMARY
<p>The application is before Committee as due to local concerns on the grounds of loss of amenity, overdevelopment/density, accuracy of submitted plans and a lack of proven need, as WBC can currently demonstrate more than a 5 year land supply for gypsy and traveller sites.</p> <p>The application for the proposed addition of four pitches to an existing four pitch caravan park for gypsy and travellers, plus reconfiguration of the existing site will help towards meeting the Council's statutory duty to provide accommodation for cultural Gypsies and Travellers and provide greater flexibility and certainty of future supply. In this regard whilst there may be conflict with Policy CP11 of the Core Strategy, it adheres to principles of Policy CP2 of the Core Strategy, TB10 of the MDD Local Plan and the PPTS which provides specific policy guidance for gypsy/traveller sites in that the site makes effective use of previously developed land within the existing envelope of the site immediately adjacent to the settlement boundary of a modest development location. Notwithstanding the limited weight that the Local Plan Update currently has in the decision making process, the application site corresponds with site 5FI015 promoted for Gypsy and Traveller pitches through the Local Plan Update process. The site is included in the Draft Plan as a proposed allocation for 4 net additional pitches.</p> <p>It has also been demonstrated that the development would not have a detrimental impact upon the amenity of neighbouring occupiers, upon highway safety, upon ecology, environmental considerations, upon trees and landscape and upon the Thames Basin Heath SPA (subject to completion of S106). It is therefore recommended that this application is approved.</p>

PLANNING STATUS
Countryside Location Contaminated land consultation zone Water Utility consultation zone Green Route Bat Roost Habitat Suitability

Public Open Space – Warren Wood
TPO
Landscape Character Area
Thames Basin Heath SPA Buffer Zone (400m – 5km)
SSSI Impact Risk Zones
Local Plan Update – Submitted Site

RECOMMENDATION

That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following:

A. A legal agreement to secure the provision of Suitable Alternative Natural Greenspace (SANG) and Strategic Access Management and Monitoring (SAMM) to offset the impact on the Thames Basins Heaths Special Protection Area. If the Agreement is not completed within 3 months of the date of this resolution, Planning Permission will be refused unless the Operational Manager in consultation with the Chairman of the Planning Committee agree to a later date.

B. Conditions and Informatives:

Conditions and Reasons

1. Timescale - The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved details - This permission is in respect of the submitted application plans and drawings numbered 500.C, 501.E, 1000 and 1050.A received by the local planning authority on 14 May 2020. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. Landscaping - Prior to the commencement of the development there shall be submitted to and approved in writing by the local planning authority a scheme of landscaping, which shall specify species, planting sizes, spacing and numbers of trees/shrubs to be planted, and any existing trees or shrubs to be retained. Planting shall be carried out in accordance with the approved details in the first planting and seeding seasons following the occupation of the building(s). Any trees or plants which, within a period of 5 years from the date of the planting (or within a period of 5 years of the occupation of the buildings in the case of retained trees and shrubs) die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species or otherwise as approved in writing by the local planning authority.

Reason: To ensure adequate planting in the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21 (and TB06 for garden development).

4. Protection of trees - a) No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the

local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).

b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.

c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.

d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

5. Parking and turning space to be provided - No part of any pitches hereby permitted shall be occupied or used until the vehicle parking and turning space has been provided in accordance with the approved plans. The vehicle parking and turning space shall be retained and maintained in accordance with the approved details and the parking space shall remain available for the parking of vehicles at all times and the turning space shall not be used for any other purpose other than vehicle turning.

Reason: To provide adequate off-street vehicle parking and turning space and to allow vehicles to enter and leave the site in a forward gear in the interests of road safety and convenience and providing a functional, accessible and safe development and in the interests of amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

6. Cycle parking to be provided - No pitch shall be occupied until secure and covered parking for cycles has been provided in accordance with the approved drawing (s)/details. The cycle parking/ storage shall be permanently so- retained for the parking of bicycles and used for no other purpose.

Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 9 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

7. Access to be provided - No pitch shall be occupied until the access has been constructed in accordance with the approved plans.

Reason: In the interests of highway safety and convenience. Relevant policy: Core Strategy policies CP3 & CP6.

8. Access surfacing - No pitch shall be occupied until the vehicular access has been surfaced with a permeable and bonded material across the entire width of the access for a distance of 10 metres measured from the carriageway edge.

Reason: To avoid spillage of loose material onto the highway, in the interests of road safety. Relevant policy: Core Strategy policy CP6.

9. Restriction of occupation - The site shall not be permanently occupied by any persons other than gypsies and travellers as defined in Annex 1 of Planning Policy for Traveller Sites (August 2015) (or any subsequent definition that supersedes that document) their spouses and resident dependants.

Reason: To ensure continuing provision for the needs of the gypsy population. Relevant policy: Planning Policy for Traveller Sites (August 2015), Core Strategy policy CP2 and Managing Development Delivery Local Plan policy TB10

10. Restriction of vehicle use - No vehicle over 3.5 tonnes unladen weight shall be stationed, parked or stored on this site.

Reason: In the interests of highway safety and the amenities of the area. Relevant policy: Core Strategy policies CP1, CP3, CP6 & CP11 and Managing Development Delivery Local Plan policy TB21.

11. There shall be no more than 8 permanent gypsy and traveller pitches in total on the site as show on the submitted plan 501.E Proposed Layout. There shall be no more than 1 static and 1 touring caravan per pitch, as defined in the Caravan Sites and Control of Development 1960 and the Caravan Sites Act 1968 stationed at any time.

Reason: In the interests of visual amenity and infrastructure provision. Relevant policy: Core Strategy policy CP2, CP3 and CP4, and Managing Development Delivery Local Plan policy TB21.

12. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) (or any Oder revoking and re-enacting the Order with or without modification), no external lighting shall be installed on the site or affixed to any structures on the site except in accordance with details that have first been submitted to and approved in writing by the Local Planning Authority.

Reason: Reason: In the interests of visual and residential amenity. Relevant Policy: Core Strategy Policies CP1, CP2 and CP3.

Informatives

1. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received. This planning application has been the subject of positive and proactive discussions with the applicant in terms of:

- addressing concerns relating to highway safety;

The decision to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF is considered to be a positive outcome of these discussions.

2. This permission should be read in conjunction with the legal agreement under section 106 of the Town and Country Planning Act dated [INSERT], the obligations in which relate to this development.

3. The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be

outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear please contact the case officer to discuss.

4. WBC Landscape Officer advice regarding Condition 3:

I suggest that the Planting Specification be changed to read as follows;

New hedge planting to contain 20% Hawthorn, 20%Blackthorn, 20% Rowan, 20% Beech, 20% Oak. Plant in a double staggered row 450cm apart at 45cm centres.

Interspersed with trees; Birch (Betula pendula) and Lime (Tilia 'Winter Orange') – Sycamore will grow very big and have a dense canopy whilst Birch will have a lighter canopy and Lime will have winter interest and only reach 8m at maturity. The trees should be planted at 10-15m centres to ensure at maturity there are gaps between the canopies to avoid shading. I have included Rowan and Oak in the hedge mix as these are found within the TPO.

Please update the planting information and submit as a Landscape Condition and include the size and the numbers of plants required. All plants should be protected with guards until established and then removed (or use biodegradable guards). Trees should be double staked and tied – and these removed once trees are established.

PLANNING HISTORY		
Application Number	Proposal	Decision
080059	Proposed change of use for the siting of two mobile homes for residential use, and change of use of the existing store room for use as day room for residential purposes.	Refused 12 March 2009 Appeal Allowed 15 September 2009 Appeal Ref: APP/X0360/A/09/2102058
090332	Application for submission of details to comply with the following condition of Planning Appeal consent F/2008/2353: 4(i) Proposed siting of mobile homes; siting of existing commercial activities; programme of archaeological work; and a protected reptile contingency plan	Approved 11 November 2009
130656	Application to remove personal permission (conditions 1 & 2) of F/2008/2353 (for the change of use for the siting of two mobile homes for residential use, and change of use of the existing store room for use as day room for residential purposes).	Approved 14 April 2014
142431	Application for a variation to condition 3 of appeal decision 2102058 (Planning application reference F/2008/2353) to read (to allow no more than 4 residential	Approved 10 August 2015

	caravans to be stationed on site at any time).	
153012	Application for discharge of conditions 3, 5, 7, 9, 10 & 11 of consent VAR/2014/1945	Approved 30 September 2016

CONSULTATION RESPONSES	
Royal Berkshire Fire and Rescue	No comments received
South East Water	No comments received
WBC Biodiversity	No objection
WBC Growth and Delivery (Planning Policy)	No objection subject to conditions
WBC Drainage	No comments received
WBC Environmental Health	No objection
WBC Highways	No objection subject to conditions
WBC Tree & Landscape	No objection subject to conditions
WBC Cleaner & Greener (Waste Services)	No comments received

REPRESENTATIONS
<p>Finchampstead Parish Council: <i>"We object to this inappropriate overdevelopment of the site. The proposed development would cause issues with privacy for residents of the Dittons due to the close proximity of the static mobile homes.</i></p> <p><i>We believe WBC currently has adequate provisions for gypsy and traveller pitches.</i></p> <p><i>We understand the existing plans appear inaccurate, the layout of the existing pitches is incorrect and do not represent the current layout of the site.</i></p> <p><i>If the planning officer is minded to approve this we ask that conditions are added to ant approval. Siting of mobile home to be an acceptable distance from adjoining properties. Landscaping to offer satisfactory visual protection to existing properties. Light pollution, any street lights to be positioned and directed within the site."</i></p> <p>Local Members: Cllr Weeks has requested that the application is listed for Planning Committee due to local concerns regarding the loss of amenity, overdevelopment/density, accuracy of submitted plans and a lack of proven need, as WBC can currently demonstrate more than a 5 year land supply for gypsy and traveller sites.</p> <p>Neighbours: 11 objections have been received from the residents of neighbouring properties. These concerns are summarised as follows:</p> <ul style="list-style-type: none"> • Noise and light pollution increase • Odour pollution increase • Loss of additional trees and detrimental impact upon wildlife • Detrimental impact upon the privacy of the residents of the The Dittons • There is no need for additional development for traveller community given the current capacity and the size of the parish • The proposal would create 4 additional pitches and up to 8 additional caravan slots which would result in an overdevelopment of the site and would not respect the density character of the area • Lack of screening to the boundary with the Dittons

- Increase in traffic from additional pitches
- Detrimental impact on flora and fauna
- Concerns in relation to accuracy of the submitted plans
- The application site had previously been considered to not be acceptable for residential development until the existing development by the existing owner
- The proposal could have a detrimental impact upon the property value of surrounding dwellings
- Concerns over the location of the stables in such close proximity to a residential garden/property – mainly in relation to odour
- Concerns over further loss of woodland and the failure to adequately mitigate for this, including planting of high conifer trees to the shared boundary

APPLICANTS POINTS

- The proposed development would make efficient use of an appropriately and sustainably located site
- The development would provision a valuable contribution to the borough's need for additional pitches, within an established Gypsy and Traveller site, without adverse effect on the character and appearance of the local area

PLANNING POLICY

National Policy	NPPF	National Planning Policy Framework
	PPTS	Planning Policy for Traveller Sites (2015)
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP4	Infrastructure Requirements
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP8	Thames Basin Heaths Special Protection Area
	CP9	Scale and Location of Development Proposals
	CP11	Proposals outside development limits (including countryside)
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk (from all sources)

	CC10	Sustainable Drainage
	TB10	Traveller Sites
	TB21	Landscape Character
	TB23	Biodiversity and Development
Supplementary Planning Documents (SPD)	BDG	Borough Design Guide – Section 4
	GTAA	Gypsy and Traveller Accommodation Assessment

PLANNING ISSUES

Description of Development:

1. The application site lies to the south of Nine Mile Ride and is located to the rear of the dwellings which front onto Nine Mile Ride. The site is within the ownership of No.166 Nine Mile Ride and is located to the eastern side of this dwelling. A residential cul-de-sac, The Dittons, is located to the south of the application site, with the rear boundary to gardens on Finchampstead Road and vegetation located to the east.
2. The application site is located within designated countryside in policy terms, however it is located immediately adjacent to the Modest Development Location of Finchampstead to the north and east. The application site consists of 4 lawful traveller pitches, two amenity blocks and a stable. The application site is accessed via a shared driveway with No. 166 Nine Mile Ride.
3. The proposal is for the creation of 4 additional pitches to be created within the boundary of the existing 4 pitch site, thus creating a cumulative total of 8 pitches with an existing. Each pitch is proposed to accommodate a static mobile home, touring caravan day room, storage shed outbuilding and amenity space. The proposal would fall within the confines of the existing site, whilst the existing access and hardstanding are to be utilised for this proposal.

Principle of Development:

4. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan (MDD) Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
5. The National Planning Policy Framework (NPPF) forms a material consideration with a presumption in favour of sustainable development. The supporting document entitled Planning Policy for Traveller Sites (PPTS) (2015) sets out guidance to ensure fair and equal treatment for gypsies and travellers and also requires due regard for the protection of local amenity and the local environment. These documents state that new traveller site development in the open countryside away from existing settlements should be restricted and that sites in rural areas should respect the scale of, and not dominate, the nearest settled community as well as avoiding placing undue pressure on local infrastructure (paragraph 25 of PPTS).

6. Policy H of the PPTS sets out that when determining planning applications for traveller sites, LPA should consider the following issues amongst others, relevant matters when determining applications for traveller sites.
 - a. The existing level of local provision and need for sites;
 - b. The availability (or lack) of alternative accommodation for applicants;
 - c. Other personal circumstances of the applicant/occupants;
 - d. Locally specific criteria; and,
 - e. Authorities should determine applications for sites from any travellers and not just those with local connections’.
7. Local Provision and Need for sites: The Planning Policy for Traveller Sites (PPTS) requires local planning authorities to ensure they have a supply of specific deliverable sites sufficient to provide 5 years’ worth of pitches/plots against assessed need. The council’s most recent Gypsy and Traveller Accommodation Assessment is that which was updated and published in September 2017 (2017 GTAA). The study dealt with both the overall cultural need for pitches as well as the need based on the revised planning definition contained within the PPTS. It is clear from PPTS paragraph 9 that locally set targets should be based on the Gypsies and Travellers that meet the definition contained in PPTS Annex 1 of that document.
8. The 2017 GTAA identifies a need for 90 net pitches between 2017/18 and 2035/36 of which 26 pitches represents the need based on the PPTS definition. In the period 2020/21 – 2024/25, the current five year period, there is an identified need for 6.5 pitches against the PPTS definition. To this, over supply of 1 pitch from the years 2017/18 – 2019/20 is subtracted giving a total need for 5.5 pitches for the five year period.
9. The council has proactively approved permissions for a number of pitches in recent years. At 31st March 2020 there were unimplemented permissions for a total of 10 pitches (173365; 180072; 192012; and 192174). Together this supply of pitches equates to a supply of 9.09 years at 31st March 2020, exceeding the requirement of the PPTS. Notwithstanding the five year land supply position, all applications should be assessed on their merits. Any permitted additional pitches will help towards meeting the council’s statutory duty to provide accommodation for Gypsies and Travellers and provide greater flexibility and certainty of future supply.
10. For clarity, the Local Planning Authority issued a Planning Contravention Notice prior to the application being considered by committee. This was to ensure that the current occupants of the site met the definition of gypsies and travellers and that the site was being occupied in accordance with the extant planning permission. The response confirmed this was the case and therefore no issue is raised with regard to the existing use of the site.
11. Alternative Sites: No alternatives sites have been put forward by the applicant but the Council is not aware of any other better alternatives that could accommodate an increase of 4 pitches.
12. Personal Circumstances: The applicant has not put forward personal circumstances and therefore no weight is applied to this aspect.

13. Locally specific criteria: Policy CP11 of the Core Strategy relates to proposals outside development limits designed to protect the separate identity of settlements and maintain the quality of the environment. The current application site is located outside of development limits and therefore is subject to this policy. However it should be noted that the use of the site is established and the proposal would intensify rather than change this use. As such, greater weight is applied to this aspect. Policy CP2 of the Core Strategy supports proposals that address the requirements of 'the specific identified needs of minority groups in the borough, including Gypsies, Travellers and Travelling Show people' and therefore the application accords with this policy.
14. MDD Policy TB10 is a PPTS compliant policy which states that planning permission may be granted for new Gypsy and Traveller pitches or extensions to existing sites where a number of criteria are satisfied. Part a) and b) of TB10 outlines that "the site is located in the Borough's existing settlements or is adjacent to an existing settlement either within or adjacent to the Borough" and "avoids impacting on the separate identity of settlements". In this regard the application site is immediately adjacent to the Modest Development Location of Finchampstead to the north, east and south-east. In relation to potential impacts on the separate identity of settlements, given that the application site is a brownfield existing traveller/gypsy site is not considered that it would create a coalescence between two separate settlements.
15. Parts C-H of Policy TB10 relates to access to services, environmental barriers to development, impact on character, amenity of neighbouring land uses and impact on the SPA. Subject to the assessment carried out below the application accords with the various aspects of this policy. It should also be noted that Paragraph 26 of Policy H of the PPTS states that LPA's should attach weight to the *effective use of previously developed (brownfield)* when considering applications for traveller/gypsy sites.
16. Any permitted additional pitches will help towards meeting the Council's statutory duty to provide accommodation for cultural Gypsies and Travellers and provide greater flexibility and certainty of future supply. In this regard, it adheres broadly to principles of Policy CP2 of the Core Strategy, TB10 of the MDD Local Plan and the PPTS which provides specific policy guidance for gypsy/traveller sites in that the site makes effective use of previously developed land within the existing envelope of the site immediately adjacent to the settlement boundary of a modest development location.

Character of the Area:

17. Policy CP1 of the Core Strategy states that planning permission will be granted for development proposals that 'maintain or enhance the high quality of the environment'. Policy CP3 of the Core Strategy states planning permission will be granted if development is 'of an appropriate scale of activity, mass, layout, built form, height, materials and character to the area together with a high quality of design' and contributes 'to a sense of place in the buildings and spaces themselves and in the way they integrate with their surroundings, including the use of appropriate landscaping'.
18. The proposal would create 4 additional pitches to be created within the boundary of the existing 4 pitch site, thus creating a cumulative total of 8 pitches with an existing stable block to be re-sited to the south-west corner of the application site. Each pitch is proposed to accommodate a static mobile home, touring caravan day room, storage shed outbuilding and amenity space. The proposal would fall within the confines of the existing site, whilst the existing access and hardstanding are to be utilised for this proposal.

19. The proposal is to provide for individual landscaping to each pitch and the retention of existing landscaping features. Given that the application site is located to the rear of dwellings which front onto Nine Mile Ride and to the rear/side of properties to the Dittons, it is a negligible feature within the streetscene. This coupled with the augmented landscaping results in very minor impacts from public viewpoints. As such, and as the four additional pitches would be evenly spaced with all structures remaining single-storey, it is not considered that the proposal would have a detrimental impact upon the application site itself, nor the character of the surrounding area. Thus, the proposal is considered to adhere to Policy CP1 and CP3.

Residential Amenities:

20. Policy CP3 of the Core Strategy aims to protect neighbouring amenity. Policy CC06 of the MDD seeks to ensure that proposals must demonstrate how they have addressed noise impacts to protect noise sensitive receptors. Policy TB10 of the MDD Local Plan outlines that Planning permission may be granted for new gypsy and traveller pitches or extensions to existing sites where it can be demonstrated that the proposals will not result in an unacceptable loss of amenity of neighbouring land uses.

21. The proposal would see the re-configuration of the application site and the creation of four additional pitches. The proposed pitches/static caravans which are located in the most sensitive location in relation to potential impacts upon the amenity of neighbouring properties are No's 2-7 along the eastern/south-eastern boundary. These pitches are located in close proximity to the rear boundaries of properties and in particular No's 8 and 9 the Dittons. In relation to No. 8 The Dittons, the closest pitch/static unit (no.6 on submitted plans) is set-off the boundary by 2.5m and a separation of 5.5m from the dwelling. In relation to No. 9 The Dittons, the closest pitch/static unit (no.6 on submitted plans) is set-off the boundary by 2m and a separation of 7.5m from the dwelling itself. It is also noted that there is existing vegetation to the boundary and this shall be retained by way of condition.

22. Given the separation distances, the single-storey height of the built form and the screening proposed to the boundary it is considered that the proposal would not have an unacceptable impact upon residential amenity in terms of a loss of sunlight/daylight/privacy or overbearing impact.

23. It is noted that a number of objectors have expressed concerns in relation to potential noise increase as a result of the expansion of the number of pitches. However, WBC Environmental Health Officers have reviewed the proposal and they have not raised any concerns in relation to noise. Thus, the proposal is considered to adhere to Policy CP3 of the Core Strategy and Policies CC06 and TB10 of the MDD.

Access and Movement:

24. Core Strategy Policies CP1, Sustainable Development and CP6, Managing Travel Demand seek to manage travel demand by a variety of measures. New development to be located to minimise the need to travel and where there are (or will be at the time of development) a choice of modes of transport available. It should also improve the existing infrastructure network, mitigate adverse impacts on the network, enhance road safety and avoid highway or traffic related environmental problems.

25. The existing access and driveway to the application site from the southern side of Nine Mile Ride is to be retained and utilised for this proposed development. The

existing hardstanding is to be retained, linking the driveway to each individual pitch. It is outlined in the submitted Planning, Design and Access Statement that the parking will be provided upon the hardstanding, and not within each individual pitch.

26. WBC Highways Officers reviewed the original information and requested further details relating to the width of the access, parking/turning and cycle parking. Additional information was submitted in the form of revised layout outlining parking/turning details and cycle details. The Highways Officer has reviewed this and subsequently does not raise any objection to the application, subject to conditions.

Flooding and Drainage:

27. In accordance with the sequential approach established by the NPPF, Core Strategy Policy CP1 and MDDL Policies CC09 and CC10 establish that new development should avoid increasing and where possible reduce flood risk (from all sources) by first developing in areas with lowest flood risk (Flood Zone 1). Policy CC10 of the MDD Local Plan requires sustainable drainage methods and the minimisation of surface water flow. Part D of Policy TB10 of the MDD Local Plan outlines that for traveller/gypsy applications no significant barriers to development exists in terms of flooding, poor drainage, poor ground stability or proximity to other hazardous land or installations where conventional housing would not be suitable.

28. The application site is located within Flood Zone 1, thus being located in area of the lowest flood risk. The proposed rainwater soakaways are to be constructed in accordance with BRE Digest 365 to show compliance with Regulation 4, Schedule 1, Part H3 (Rainwater Drainage). Thus, the proposal is considered to adhere to Policy CP1 of the Core Strategy and Policies CC09, CC10 and TB10 of the MDD Local Plan.

Landscape and Trees:

29. Policy CC03 of the MDD Local Plan aims to protect green infrastructure networks, promote linkages between public open space and the countryside, retain existing trees and establish appropriate landscaping and Policy TB21 requires consideration of the landscape character. Part E of Policy TB10 of the MDD Local Plan states that unacceptable impacts on the character and appearance of the surrounding landscape will be minimised through the sensitive and appropriate design of the scheme in relation to applications for traveller/gypsy pitches.

30. The site is located at the rear of 168-176 Nine Mile Ride and adjacent to 166 Nine Mile Ride. The site is currently occupied as a Gypsy and Traveller Site where there are currently 4 pitches – the proposals are for a further 4 pitches doubling the provision.

31. The site is located in the countryside and is included in TPO 582/1993 - W1 which includes Scots Pine, Rowan, Birch and Oak. WBC Landscape and Tree Officers have reviewed the proposal and noted that existing trees on the site are shown illustratively on Drawing No. 'Site layout as Proposed' - 501 Rev. E. In order to ensure that the site be redeveloped without harm to these trees an Arboricultural Implications Assessment is considered necessary by condition.

32. The 'Site Layout as Proposed' 501 Rev. E includes areas of planting around the proposed pitches and the species mix and trees proposed. WBC Landscape and Tree Officers have suggested that the Planting Specification be changed to read as follows;

New hedge planting to contain 20% Hawthorn, 20%Blackthorn, 20% Rowan, 20% Beech, 20% Oak. Plant in a double staggered row 450cm apart at 45cm centres.

Interspersed with trees; Birch (Betula pendula) and Lime (Tilia 'Winter Orange') – Sycamore will grow very big and have a dense canopy whilst Birch will have a lighter canopy and Lime will have winter interest and only reach 8m at maturity. The trees should be planted at 10-15m centres to ensure at maturity there are gaps between the canopies to avoid shading. I have included Rowan and Oak in the hedge mix as these are found within the TPO.

33. It has been requested by WBC Landscape and Tree Officers that the planting information is updated and submitted as part of a Landscape Condition. This should include the size and the numbers of plants required, that all plants should be protected with guards until established and then removed (or use biodegradable guards) and trees should be double staked and tied – and these removed once trees are established. Thus, subject to conditions there are no concerns from a landscape and tree perspective, with the proposal adhering to Policy CC03 and TB10 of the MDD Local Plan and Policy TB21 of the Core Strategy.

Environmental Health:

34. Core Strategy policy CP1 requires development to avoid areas where pollution may impact upon amenity. Part D of Policy TB10 of the MDD Local Plan states that no significant barriers to development exists in terms of flooding, poor drainage, poor ground stability or proximity to other hazardous land or installations where conventional housing would not be suitable with regard to applications for gypsy/traveller pitches.

35. WBC Environmental Health Officers have reviewed the proposal and they have no concerns in relation to contaminated land or air/odour pollution, thus, the proposal adheres to Policy CP1 of the Core Strategy and Policy TB10 of the MDD Local Plan.

Ecology:

36. Policy TB23 of the MDD Local Plan requires the incorporation of new biodiversity features, buffers between habitats and species of importance and integration with the wider green infrastructure network.

37. The application site comprises of an area of hardstanding surrounded by hedgerow and adjacent to woodland. The site is currently used to pitch four caravans and it is proposed to increase this to eight pitches and to reconfigure existing layout. WBC Ecology have reviewed the proposal and have identified that the main habitat to be affected is hardstanding, which is of low ecological value. The existing hedges and trees are to be retained and the proposed site plan shows the new native hedges will be planted around the pitches. Thus, WBC Ecology Officers have confirmed that there are no objections on ecological grounds.

Community Infrastructure Levy (CIL), Special Protection Area (SPA) & Affordable Housing:

38. *Community Infrastructure Levy:*

As per policy CP4 of the Core Strategy, proposals should provide appropriate arrangements for the provision of infrastructure. This requirement is covered by the

Community Infrastructure Levy however the submitted form indicates that no new build floor space in excess of 100sqm would be created. As such, the proposal does not meet the trigger required to comply with policy CP4.

39. Special Protection Area and Appropriate Assessment:

Policy CP8 of the Core Strategy states that where development is likely to have an effect on the TBH SPA, it is required to demonstrate that adequate measures to avoid and mitigate any potential adverse effects are delivered. Part H of Policy TB10 of the MDD Local Plan outlines that proposed development for gypsy/traveller pitches should avoid any adverse impacts on the Special Protection Area.

The proposed development involves four additional traveller/gypsy pitches within 5km of the TBH SPA. Policy CP8 states that where there is a net increase in dwellings within 5km of the SPA, contributions to access management measures and monitoring in line with the Delivery Framework will be required. The nature of the development does not negate the need to satisfy Policy CP8.

The development would be within a 3.8km linear distance of the Thames Basin Heath SPA which was designated in 2005 because of its internationally important populations of Dartford Warbler, Woodlark and Nightjar. Additional recreational pressure from residents of new housing development, such as dog walking, could lead to disturbance of birds. The combined effects of numerous residential developments on the SPA are likely to be significant if no mitigation is in place.

An avoidance strategy has been developed with Natural England to prevent disturbance of the SPA. A key component of the strategy is the provision of SANG. A further element of mitigation is a contribution to the Strategic Access Management and Monitoring (SAMM) which is being implemented within the SPA.

In relation to the application site, SANG would be provided by a portion of an existing SANG known as Rooks West Wood. The Wood would be approximately a 25-minute walk from the application site which would not be a significant distance for recreational users, including dog-walkers. The SANG would also be easily accessible by car. Having regard to the above, the development, either alone or in combination with other plans or projects, is not likely to have a significant effect on the integrity of the SPA. The SANG together with a contribution towards SAMM would be secured by the s106.

40. Affordable Housing:

Policy CP5 of the Core Strategy, Policy TB05 of the MDD Local Plan and the Affordable Housing SPD specify an affordable housing rate of 40% % for any development involving five dwellings or more or where it is located on land with a total area of 0.16 hectares or more outside of any defined settlement boundary. The application plot is 627sqm and is for 4 additional pitched for gypsy/traveller accommodation. As such, there is no requirement for affordable housing in this instance.

The Public Sector Equality Duty (Equality Act 2010)

In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and

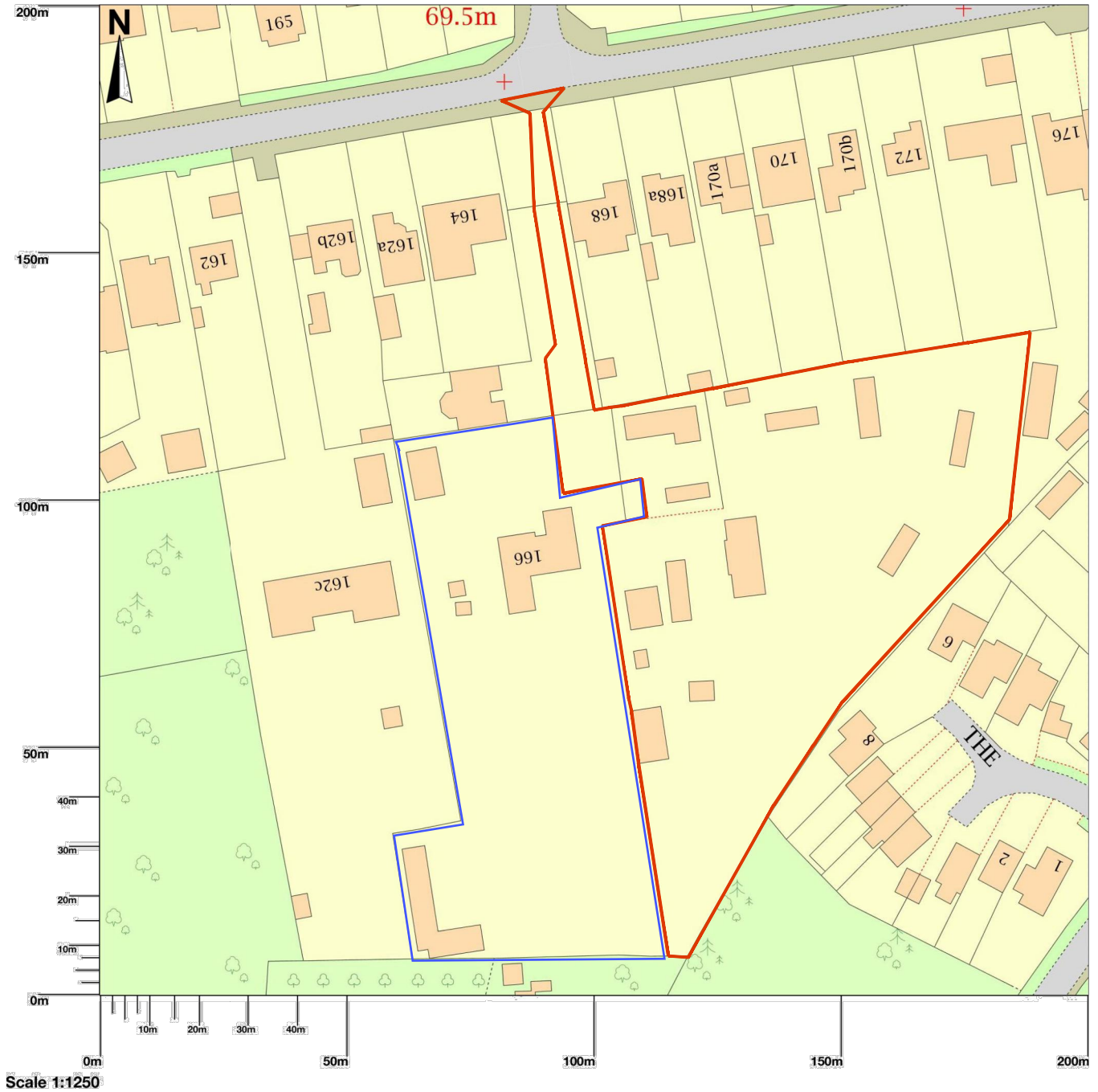
maternity, race, religion or belief. The impact on relevant characteristics have been identified above and no others are believe to be affected.

CONCLUSION

The application for the proposed addition of four pitches to an existing four pitch caravan park for gypsy and travellers, plus reconfiguration of existing site will help towards meeting the Council's statutory duty to provide accommodation for cultural Gypsies and Travellers and provide greater flexibility and certainty of future supply. In this regard whilst there may be conflict with Policy CP11 of the Core Strategy, it adheres to principles of Policy CP2 of the Core Strategy, TB10 of the MDD Local Plan and the PPTS which provides specific policy guidance for gypsy/traveller sites in that the site makes effective use of previously developed land within the existing envelope of the site immediately adjacent to the settlement boundary of a modest development location. It has also been demonstrated that the development would not have a detrimental impact upon the amenity of neighbouring occupiers, upon highway safety, upon ecology, environmental considerations, upon trees and landscape and upon the Thames Basin Heath SPA (subject to completion of S106). It is therefore recommended that this application is approved.

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166 Nine Mile Ride, Finchampstead, Wokingham, RG40 4JA









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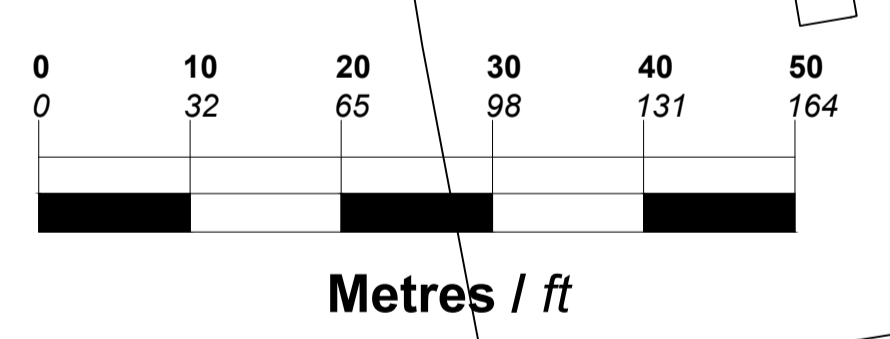
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Key

- Existing Landscaping (Trees) 
- Existing Landscaping (Low Level Planting / Hedge) 
- Application Boundary 
- Existing Road / Track Surface 
- Existing Buildings 
- Existing Caravan Pitch 



Site Layout
 Scale 1:500

C Minor Amendment	07-05-2020
B Minor Amendment	23-04-2020
A Minor Amendment	22-04-2020
Contract	
Proposed Additional Plots of existing Park On Land Adjacent To 166 Nine Mile Ride Wokingham, RG40 4JA	
Client	Martin Peacock Architectural Services Limited
	
	
Drawing Site Layout As Existing Old Reading Room Main Street, Stanforth-Settle North Yorkshire YO24 3RE Tel: 07765 224 261	
Drawn	MDP
Scale	1:500 @A1
Date	20-04-2020
Job No	2020-20
Drawing No	500
Revision	C

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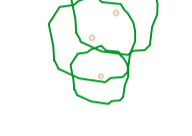

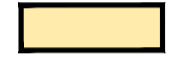







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Key

- Existing Landscaping (Trees) 
- Existing Landscaping (Low Level Planting / Hedge) 
- For Proposed Landscaping Refer to detailed Landscaping Scheme 
- Application Boundary 
- Existing Caravan Pitch 
- Proposed Road / Track Surface 
- Proposed Pitch 
- Proposed Static Unit 
- Proposed Touring Caravan 
- Outbuilding 
- New Foul Water Drain Run 
- New Surface Water Drain Run 

EXTERNAL WORKS

PATHS gravel
New paths to be laid where indicated of 75 mm thick loose gravel with tamped finish on 150mm well compacted hardcore.

Stone Setts to markate front edge of parking bays as shown. Setts to be laid flush with finished road level, laid in mortar bed to Local Authority Approval.

New Post And Rail Fencing constructed to a height of 1800 mm in treated timber incorporated access points at minimum 1500mm c/c along its length.

LANDSCAPING WORKS

Planting to follow Local Authority Design Guide with traditional species like Beech, Green fagus Sylvatica and Holly (Ilex Aquifolium). Tree planting to respect the proportion of the site. Acer Saccharinum (Silver Maple) or Silver Birch (B. Pendula) ensuring light canopies.

EXCAVATIONS

Formations below New Structures. All new formation levels below any new floors or external pavements to be free from topsoil, vegetable matter or other organic material and where applicable graded to support walls in ground level below suspended ground floors

GENERALLY

All excavations shall be carried out in accordance with BS 5931:1981 and BS 8004:1986. only unwanted materials shall be carried away from site.

DEMOLITION WORKS

Demolition to be undertaken safely with all required safety equipment and barriers to deter the general public, any salvageable material to be taken into account on the tender.

DRAINS

Adequately protect existing live drains and maintain normal flow during construction Drains passing under building to be surrounded in min 100mm granular surround. Drains passing through walls to be protected by lintels and allow 50mm space around pipe. Seal opening with rigid sheet material. No drainage trenches to be deeper than adjacent foundations. Gullies to be external inspection pattern if not connected direct to an inspection chamber. All drains below areas of vehicular movement to be surrounded in 150mm minimum mass concrete encasement. All new drains to be tested in accordance with the Local Authority requirements.

The existing drainage is to be located and the status (separate or combined) to be determined and the work proposed is to be approved by the drainage inspector before any work commences on site.

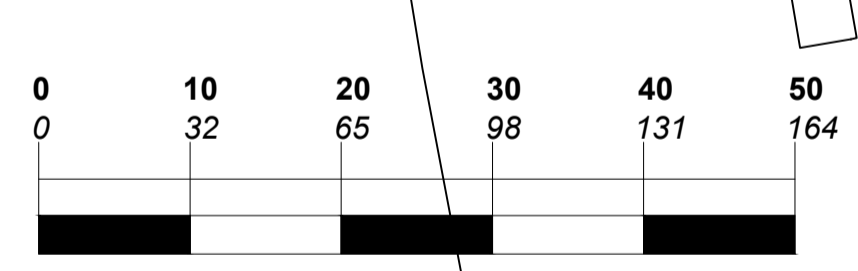
MANHOLES AND CHAMBERS

Internal sizes to engineers details. Bases to be 150 mm thick 25 N / mm concrete reinforced with 12 mm high yield mild steel bars @ 100 mm max. centres in both directions. 40 mm min. cover from slab soffit. Benching to manholes to rise vertically from edge of channel and radius slope of 1:12. Step irons to be provided in all manholes and chambers at 300 mm vertical centres, staggered and commencing 450 mm the cover level. Manhole or chamber covers and frames to be double seal type having appropriate loading capacity for their locations.

SOAKAWAYS

Rainwater soakaways to be constructed in accordance with BRE Digest 365 to show compliance with Regulation 4, Schedule 1, Part H3 (Rainwater Drainage).

New planting to consist of native hedge planting - hedges 60% blackthorn 20% hawthorn 20% planted at a minimum size 600-800mm in a double staggered row at 450-600mm centres. Interspersed with specimen tree planting within hedgerow - Silver Birch (Betula pendula), Sycamore (Acer pseudoplatanus). Trees to be planted in groups of 3-5, with 3-m between trees and 5-6m between groups (measuring from trunks).



Metres / ft

Site Layout Scale 1:500

Contract		H Amended Following Comments From Planners 27-08-2020	
Proposed Additional Plots of existing Park On Land Adjacent To 166 Nine Mile Ride Wokingham. RG40 4JA		G Amended Following Comments From Planners 25-08-2020	
Client		F Amended Following Comments From Highways 14-08-2020	
Mr D Reed 166 Nine Mile Ride, Wokingham. RG40 4JA		E Amended Following Comments From Highways 24-08-2020	
Drawing		D Minor Amendment 14-05-2020	
Site Layout As Proposed		C Minor Amendment 07-05-2020	
Drawn MDP		B Amended To Client Requirements 24-04-2020	
Scale 1:500 @A1		A Amended To Client Requirements 23-04-2020	
Date 20-04-2020		Job No 2020-20	
Drawing No 501		Revision H	

mpas

Martin Peacock Architectural Services Limited

Old Reading Room
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Agenda Item 24.

Application Number	Expiry Date	Parish	Ward
201566	26 August 2020	Finchampstead	Finchampstead South

Applicant	Wokingham Area Housing Society
Site Address	Land Adjacent to Wyse Hill Lodge, The Village, Finchampstead RG40 4JR
Proposal	Full application for the proposed erection of four x 1 no. bedroom flats with associated bin/cycle store, access, parking and amenity space
Type	Full
Officer	Simon Taylor
Reason for determination by committee	Listed by Councillor Weeks because “ <i>Finchampstead village has a distinct lack of smaller housing units for affordable social rent and this application should be treated as a rural exception site</i> ”

FOR CONSIDERATION BY	Planning Committee on Wednesday 9 September 2020
REPORT PREPARED BY	Assistant Director – Place

SUMMARY
<p>The application site lies within the countryside on the southern side of The Village at the western edge of the limited development location of Finchampstead. It comprises a 490m² portion of a paddock that has been bequeathed by a local landowner for affordable housing (for key workers in the first instance). The subject application comprises a two storey flat building comprising four x 1-bedroom affordable flats, with parking for four vehicles. It is a resubmission following the refusal of planning application 191392 on 16 July 2019 for a similar scheme.</p> <p>Policies CP9 and CP11(7) of the Core Strategy allow residential development in the countryside as a rural exception site, consisting of up to 100% affordable housing but only where it adjoins the boundary of a limited or modest development location and there is a demonstrated genuine need from residents with connections to the area.</p> <p>This application site is adjoining the settlement boundary and has been supported by a Local Housing Needs Survey and Sequential Test that sufficiently demonstrates that there is a degree of demonstrated localised need such that the principle of the development is accepted. It is also acceptable in terms of its impression on the settlement edge and the countryside, it satisfies parking and access requirements and adequately addresses ecological concerns. However, the Council’s Landscape Officer is opposed to the development because of excessive incursions into the root protection area and subsequent potential for harm to a TPO protected Oak near the entrance of the site. More significantly, the tree is also nominated as a veteran tree, which is a tree that, because of its age, size and condition, is of exceptional biodiversity, cultural or heritage value. The provision of amenity space also remains inadequate.</p> <p>Submissions from seven residents, Finchampstead Parish Council and the ward member have all expressed support for the provision of affordable housing whilst two objections, citing parking and sustainability concerns, have been received in opposition.</p> <p>When weighing the provision of four affordable units addressing a demonstrated local need against the potential harm to the Oak tree, it is concluded that, on balance, the proposed development is unacceptable, as outlined in Reasons for Refusal 1 and 2.</p>

PLANNING STATUS

- Countryside
- Veteran tree 3242 on front boundary
- Tree Preservation Order 1691/2019 (Oak and Sycamore across eastern boundary)
- Flood zone 1
- Risk of surface flooding
- Bat consultation zone
- Thames Basin Heath Special Protection Area (5km zone)
- South East Water consultation zone
- Farnborough Aerodrome consultation zone
- Potentially contaminated consultation zone
- Minerals consultation zone
- Classified road

RECOMMENDATION

That the committee authorise the REFUSAL OF PLANNING PERMISSION for the following reasons:

1) Potential harm to TPO protected and veteran tree

The density of the development is excessive and as a consequence, the proposed access, parking court and flat building are within the root protection zone of a TPO protected and veteran Oak tree. The potential harm to the continued health of the tree (and the loss of landscape character within The Village as a consequence) represents an unreasonable deterioration of an irreplaceable habitat without any exceptional reasons or compensation strategy.

This is contrary to paragraph 5.3.1 of the BS5837:2012, paragraphs 170 and 175 of the National Planning Policy Framework 2019, Policies CP1, CP3 and CP11 of the Core Strategy 2010, Policies CC03 and TB21 of the Managing Development Delivery Local Plan 2014 and R2 of the Borough Design Guide Supplementary Planning Document 2012.

2) Lack of amenity space

The proposal does not make adequate provision for outdoor amenity space for the occupants of all of the flats, contrary to Policies CP1 and CP3 of the Core Strategy 2010 and R16 of the Borough Design Guide Supplementary Planning Document 2012.

3) Lack of mitigation for the Thames Basin Heaths Special Protection Area

The application fails to provide an appropriate assessment of the implications for the adverse effect on the integrity of the Thames Basin Heaths Special Protection Area, which is a qualifying European site. Accordingly, the proposal conflicts with Policy CP8 of the Core Strategy 2010 and NRM6 of the South East Plan Adopted (May 2009).

4) Lack of affordable housing

The proposal does not make adequate provision for affordable housing, contrary to the National Planning Policy Framework 2019, Policies CP1 and CP5 of the Core Strategy 2010, Policy TB05 of the Managing Development Delivery Local Plan 2014 and the Affordable Housing Supplementary Planning Document 2012.

And accompanied by the following informatives:

1) Refused plans

This decision is in respect of the drawings numbered P01A, P03F, P04B, P05B, P06, P09D and P10C, all received by the Local Planning Authority on 29 June 2020.

2) Discussion

The Council engages with all applicants in a positive and proactive way through specific pre-application enquiries and the detailed advice available on the Council's website. On this particular application, pre-application advice was sought and advice was given regarding the proposal being unacceptable. Discussion took place in trying to find a solution, but no solution was possible.

3) Legal agreement

In the event of an approval, Reasons for Refusal 3 and 4 would be resolved following the completion of a satisfactory legal agreement to secure SPA mitigation and affordable housing.

PLANNING HISTORY		
App Number	Proposal	Decision
F/1999/70219	3-bed detached dwelling (to the SE)	Refused 29 October 1999
A/99/1033354	Appeal against F/1999/70219	Dismissed 2 March 2000
O/2006/8035	Detached dwelling (outline)	Withdrawn 9 November 2006
191392	Four 1-bedroom flats with access, parking and amenity space	Refused 16 July 2019

SUMMARY INFORMATION	
Site area	490m ²
Previous land use	Agricultural (paddock)
Proposed land use	Residential
Proposed units	Four x 1 bed dwellings
Number of affordable units	100%
Proposed density	82 dwellings per hectare
Proposed parking spaces	Four spaces

CONSULTATION RESPONSES	
WBC Conservation	No comments received.
WBC Growth and Delivery	
WBC Env. Health	No objection.
WBC Economic Prosperity and Place	No objection.
WBC Ecology	No objection, subject to conditions requiring details of the Construction Environmental Management Plan, lighting details and biodiversity details.
WBC Highways	No objection, subject to conditions relating to car and cycle parking, turning, access surfacing and sightlines.
WBC Trees and Landscaping	Objections are raised in relation to the details of the arboricultural report (including the location of tree roots) and the subsequent impact upon an Ancient Tree on the site frontage. <u>Officer report:</u> This issue forms Reason for Refusal 1, as noted in paragraphs 54-62.
WBC Waste	No objection.
Thames Water	No comments received.
South East Water	

REPRESENTATIONS	
Finchampstead Parish Council	Support is noted because of the priority given to local residents. See Appendix 2.
Local Members	Councillor Weeks listed the application because the rural exception site provides smaller housing as an affordable social rent for local residents.
Neighbours	<p>The application was consulted to neighbours from 2-23 July 2020. Submissions were received in support of the proposal from the following properties:</p> <ol style="list-style-type: none"> 1) Wyse Hill Farm, The Village, RG40 4JR 2) 7 Maryland, Finchampstead RG40 4PB 3) 7 Radical Ride, Finchampstead RG40 4UH 4) 8 Manor Park Drive, Finchampstead RG40 4XE 5) Oakmead House, Church Lane, Finchampstead RG40 4LT 6) 348 Nine Mile Ride, Finchampstead RG40 3NJ 7) Edelweiss, 11 Ardwell Close, Crowthorne RG45 6BA <p>The submissions raised the following comments:</p> <ul style="list-style-type: none"> • Meets local and national policy, including CP9 and CP11 of the Core Strategy • Provides affordable housing for an identified need • Keeps key workers and young people in the area • Is a suitable location adjacent to the settlement boundary • Surveying for the housing needs survey was extensive <p><u>Officer comment:</u> It is noted in paragraphs 5-28 that the proposal meets the requirements as a rural exception site, with adequate documentation in support of the proposal.</p>

	<ul style="list-style-type: none"> • Is located in a sustainable location <p><u>Officer comment:</u> The proposal is located within a sustainable location, as noted in paragraphs 5-28.</p> <ul style="list-style-type: none"> • Design is in keeping with the area • There is no adverse impact upon the streetscene <p><u>Officer comment:</u> The development achieves a satisfactory streetscape appearance, as noted in paragraphs 37-47</p> <ul style="list-style-type: none"> • There is diversity in dwelling type <p><u>Officer comment:</u> The unit mix comprises four x 1-bed dwellings, which is satisfactory, as noted in paragraphs 64-65.</p> <ul style="list-style-type: none"> • The level of additional traffic is minimal • There is sufficient car parking <p><u>Officer comment:</u> The Council's Highways Officer supports the proposal in terms of parking provision and traffic generation, as noted in paragraphs 75-79.</p> <p>Submissions against the proposal were received from the following properties:</p> <ul style="list-style-type: none"> 8) 1 New Cottages, The Village, Finchampstead RG40 4JX 9) Porth, Longwater Lane, Finchampstead RG40 4NX <ul style="list-style-type: none"> • Lack of car parking, including visitor parking resulting in unsafe parking on the road <p><u>Officer comment:</u> The provision of on site car parking is acceptable/compliant, as noted in paragraphs 75-79.</p> <ul style="list-style-type: none"> • Lack of site sustainability (access to employment, shops, buses and trains is poor, resulting in high car dependency) <p><u>Officer comment:</u> The site is considered to be sustainable, as noted in paragraphs 31-34.</p>
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<p>SUMMARY OF APPLICANT'S POINTS (CONCLUSION FROM PLANNING STATEMENT)</p>	
1.	Wokingham Area Housing Society is a recognised provider of affordable dwellings in Wokingham Borough. The land is being made available by the landowners to WAHS at no cost for the provision of affordable housing for local people in Finchampstead.
2.	A Housing Need Survey has been undertaken, which has demonstrated that there is a proven need for affordable housing in Finchampstead Parish. The HNS

demonstrates that there is a need for at least 12 affordable 1-bed flats in Finchampstead Parish.

3. A Sequential Test has been carried out, which demonstrates that there are a number of sites in and on the edges of Finchampstead Village and Finchampstead North, which might be suitable for a similar development. However, they have been assessed and none of them are considered to be better than the application site, not least because the land is being gifted by the owners to WAHS specifically for 100% affordable housing only.
4. The proposed building has been reduced in scale and massing in order to ensure that it fits in with the vernacular of the street scene and doesn't harm the character and appearance of the area.
5. A considerable amount of attention has been given to preserving the TPO protected trees, which overhang the site. Details have been provided of the "no dig" and "hand digging only" construction methods, which will be used in creating the access and car parking area, so that the roots of the trees are not compromised by the development. In addition, the bin/cycle store has been moved out of the root protection area.
6. Adequate car and cycle parking will be provided as part of the development. Access off The Village will meet the council's standards in terms of manoeuvring on and off the road and visibility splays in both directions.
7. Ecological interests have been surveyed, mitigation measures proposed, and it is considered that the development will not harm any protected species.
8. Sufficient amenity space will be provided at the rear of the site. Boundary treatments will be screened by planting to ensure that they do not harm the rural character of the area. Mitigation will be provided, by means of a section 106 agreement, with regard to the cumulative impact of residential development on the Thames Basin Heath SPA.

PLANNING POLICY		
National Policy	NPPF	National Planning Policy Framework
	NPPG	National Planning Policy Guidance
Core Strategy 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP5	Housing Mix, Density and Affordability
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP8	Thames Basin Heaths Special Protection Area
	CP9	Scale and Location of Development Proposals
	CP11	Proposals Outside Development Limits
	CP17	Housing Delivery
Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC06	Noise

	CC07	Parking
	CC09	Development and Flood Risk
	CC10	Sustainable Drainage
	TB05	Housing Mix
	TB07	Internal Space Standards
	TB21	Landscape Character
	TB23	Biodiversity and Development
Other	BDG	Borough Design Guide Supplementary Planning Document (Sections 4, 6 and 8)
	AH SPD	Affordable Housing Supplementary Planning Document
	SDC SPD	Sustainable Design and Construction Supplementary Planning Document
	DCLG	National Internal Space Standards

PLANNING ISSUES

Description of Proposal

1. The proposal comprises the following:

- Construction of a two storey, pitched roof, flat building comprising four x 1-bedroom units with two on each level to be used as 100% affordable units
- Construction of a new driveway onto The Village (B3348), providing access to a carpark with four car spaces
- Construction of a bin and cycle store in the south eastern corner and bin collection area in the north eastern corner

2. The application is a resubmission of a previous proposal for four flats (application ref: 191392), which was refused for the following nine reasons:

1. *Principle of development*

The proposal does not satisfy the requirements for a rural exception site within the edge of settlement location because there is no Affordable Housing Study or Housing Needs Survey and no sequential assessment accompanying the application. More generally, there is a lack of information relating to localised need and connections to the local area, a lack of consultation with the Parish Council and no demonstration of demand for only 1-bed units, and this is contrary to Policies CP5, CP9 and CP11(7) of the Core Strategy 2010, Policy TB05 of the Managing Development Delivery Local Plan 2014 and Sections 8 and 11 of the Affordable Housing Supplementary Planning Document 2013.

2. *Character of the area*

By virtue of the excessive density, scale and built form and proximity of the residential building to The Village/B3348 as well as the expanse of the parking court, siting of the bin/cycle store and lack of soft landscaping, the proposal is representative of an over development of the site. It is incongruous with its countryside location, harmful to the open and rural character of the area and fails to transition adequately within its edge of limited settlement location. It is contrary to paragraphs 127, 130 and 170 of the National Planning Policy Framework, Policies CP1, CP3(a), (c), (d) and (f) and CP11 of the Core Strategy 2010, Policies CC02, CC03 and TB21 of the Managing Development

Delivery Local Plan 2014 and R1, R2, R3, R4, R7, R11, RD1, RD2, RD9, R20 and P2 of the Borough Design Guide Supplementary Planning Document 2012.

3. *Potential harm to trees*

The location of the cycle/bin store, parking court and building unreasonably impedes into the root protection zone (RPA) of Tree 1 (Oak) and this poses an unacceptable potential for harm to the health of tree, thereby impacting on the wider landscape of the countryside. There is overriding justification for construction within the RPA and the proposal is contrary to BS5837:2012, Paragraphs 127 and 170 of the National Planning Policy Framework 2018, Policies CP1(1) and CP3 (c), (d) and (f) of the Core Strategy 2010 and Policies CC03 and TB21 of the Managing Development Delivery Local Plan 2014 and Sections 4.2 and 4.6 of the Borough Design Guide Supplementary Planning Document 2012.

4. *Lack of car parking*

The proposal does not make sufficient provision for off-street car parking to account for the likely parking demand from the occupants of the development, contrary to Policies CP1 and CP6(d) of the Core Strategy 2010.

5. *Lack of access details*

There is insufficient information to determine whether unimpeded and safe access is afforded to vehicles exiting the site onto The Village/B3348. In the absence of this information, the proposal is contrary to Paragraph 110 of the National Planning Policy Framework 2018 and Policies CP1 and CP6(g) of the Core Strategy 2010.

6. *Lack of ecology details*

There is insufficient information to confirm that the proposed development, including removal of hedgerow, will not have an adverse ecological outcome for protected species, including upon Great Crested Newts and reptiles. In the absence of this information and because of a lack of certainty in the recommendations of the Preliminary Ecological Appraisal, the proposal is contrary to Paragraph 99 of the Government Circular 06/05: Biodiversity and Geological Conservation - Statutory Obligations and Their Impact Within The Planning System, Policy CP7 of the Core Strategy 2010 and Policies CC01 and TB23 of the Managing Development Delivery Local Plan 2014.

7. *Lack of amenity space*

The proposal does not make adequate provision for outdoor amenity space for the occupants of the dwelling, whether in terms of total depth or area. This is contrary to Policies CP1 and CP3 of the Core Strategy 2010 and R16 of the Borough Design Guide Supplementary Planning Document 2012.

8. *Inappropriate boundary treatments*

The proposed close boarded fencing to the side and rear boundaries of the site is atypical of the countryside location and would limit opportunities for wildlife to traverse the site. This is contrary to paragraphs 170 and 175 of the National Planning Policy Framework 2019, Policies CP1 and CP3 of the Core Strategy 2010 and R12 of the Borough Design Guide Supplementary Planning Document 2012.

9. *Lack of mitigation for the Thames Basin Heaths Special Protection Area*

The application fails to provide an appropriate assessment of the implications for the adverse effect on the integrity of the Thames Basin Heaths Special Protection Area, which is a qualifying European site. Accordingly, the proposal conflicts with Policy CP8 of the Core Strategy 2010 and NRM6 of the South East Plan Adopted (May 2009).

Description of Site

3. The property is located on the southern side of The Village on the western edge of Finchampstead Village, which is a limited development location. The site has a block form, measures approximately 490m² in area with a property width of about 26m and depth of 19.5m.
4. The site comprises vacant grassland with trees lining the front boundary and a veteran/TPO protected Oak tree adjacent to the north eastern corner and a smaller TPO protected Sycamore just over the eastern boundary, both trees falling within the garden of Wyse Hill Lodge to the east. Surrounding development on the opposite side of the road to the north and further to the east comprises mostly of modest residential development on medium sized but deep plots but to the south and west is countryside and farmland, including Breakspear's Farm, to the west with some isolated dwellings further west.

Principle of Development

5. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. Policy CC01 of the MDD Local Plan states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.

Location in the Countryside

6. The site is in the countryside but the application is made as four rural exception flats under Policies CP9 and CP11(7), which allows affordable housing where it adjoins the boundary of a limited or modest development location and where there is a demonstrated need with local connections.
7. Paragraph 77 of the NPPF states that decisions should be responsive to local circumstances and support housing developments that reflect identified local needs for current residents or those that have a family or employment connection. This includes bringing forward small sites where housing would not normally be permitted as rural exception sites for provide affordable housing in perpetuity.

8. As an explanatory note, the Affordable Housing SPD outlines the following with respect to rural exception sites:

For the purpose of rural exception sites, local need is defined as identified needs in the individual village or local area it serves, defined as the parish boundary. Therefore, before the Council will grant planning permission for affordable housing on a rural exception site, it must be satisfied that there is a genuine need for affordable housing in the locality. To establish that a genuine need exists the Council will require evidence from a Parish level Housing Needs Survey that is sufficiently recent to provide a reliable evidence base. Only after the Council is satisfied that a genuine local need exists will it consider the suitability of a site as a location for a rural exception site.

The number of affordable homes provided on a rural exception site should not be greater than the level of local need identified.

The housing mix and tenure split of affordable housing on rural exception sites will be determined by the particular local need identified in the village or local area it serves as defined above. As for all affordable housing, rental levels or shared ownership costs should be affordable to future tenants.

Affordable housing on rural exception sites should be provided in perpetuity, the Council will expect this to be secured through legal agreement, which will ensure that the affordable housing scheme remains available to those in local need and at an affordable rate initially and in perpetuity, and is managed appropriately.

9. The site adjoins the settlement boundary of the limited development location on its eastern boundary and satisfies the first requirement for a rural exception site.
10. In terms of the second requirement, the previous application did not include a Housing Needs Survey or sequential assessment of available sites, relying instead upon published Council documents to demonstrate need. This was inadequate for the purposes of ascertaining localised need, dwelling mix and connections to the local area and this formed part of the refusal of the application. The documents now form part of the supporting documentation for this application.
11. The Housing Needs Survey was undertaken by Community First Oxfordshire in December 2019, which is sufficiently recent. It canvassed the levels and types of unmet housing need and levels of support for developing the site. A total of 731 responses were received, which is a 30% response rate and responses were separated into the localised area of Finchampstead Village (being the village in which the application site is located and its rural surrounds) and Finchampstead South (being the area to the south of the main settlement of Finchampstead and extending from Eversley in the west to Crowthorne in the east).
12. The main findings of the Housing Needs Survey were that:
- 45% were supportive of the development and 29% not supportive
 - 59% have lived in the area for more than 15 years, (67% for Finchampstead Village and 77% for more than 10 years)

- 9% (or 88 individuals) left the parish because of their housing needs not being met for a variety of reasons (12% (or 23 individuals) in Finchampstead Village)
- About 30% would return if more affordable housing was available (43% in Finchampstead Village)
- 54% need a home in the next two years (80% in Finchampstead Village)
- Most cited the desire to start their first home as a reason to remain in the area
- In terms of the desired housing type, there was a consistent mix of Council or housing association rental, shared ownership and private starter home (though almost all respondents in Finchampstead Village wanted a starter home)
- 104 expressed a housing need (15 in Finchampstead Village) though only 12 respondents were on the housing register
- Of these 15 respondents in Finchampstead Village, 11 meet the criteria for housing need, including having local connections (residency or family connections) but only one individual was on the register
- Only 11% preferenced a flat over a dwelling (0% in Finchampstead Village)
- 29 respondents require ground floor accommodation for various reasons
- The median maximum monthly rent/mortgage was £400-£600 (£800-£1000 in Finchampstead Village)
- The median monthly household income was £2400-£3200 (more than £3200 in Finchampstead Village)

13. The author of the Housing Needs Survey then concludes that there is demonstrated need for 42 homes in Finchampstead South (11 in Finchampstead Village), these being those respondents that completed the survey expressing a housing need but who did not own their own home. Of these, 12 respondents are on the Council's housing register (1 in Finchampstead Village).

14. It is recognised that there are significant limitations with the survey process and its findings. Finchampstead Parish is substantial in size, which is why a more localised survey was undertaken and the main settlement of Finchampstead was excluded. Even then, Finchampstead Village is a small village and Finchampstead South comprises an assortment of rural and isolated locations between Eversley and Crowthorne (these localities being 7km apart). This could result in misleading conclusions, including in demonstrating local connections.

15. Furthermore, the survey contained limited data on the desired size of the dwellings. It stated that there was a concentrated need for smaller 1 and 2 bed dwellings. However, the disclaimer is that '*the indicative size of home has been estimated using likely qualifying criteria for affordable housing based on the information supplied in the survey response*'. The survey findings instead note that 4.6% of respondents currently lived in one bedroom dwellings (2% in Finchampstead Village) although there are likely to be other contributing factors influencing this low figure. In its support, the Council's own housing register indicates that smaller 1-bed and 2-bed dwellings are most favoured (see table below).

Beds	Applications	Percentage
0	9	1%
1	342	57%
2	140	26%
3	79	13%
4	20	3%

5	3	< 0.5%
6	2	< 0.5%
Total	595	100%

Note: Includes instances where multiple locations were requested from a single applicant

16. However, by providing a development of only one bedroom units, it is limiting prospective occupants to singles or couples only and almost certainly prohibiting any children. There are also various other factors that have not been taken into account, including that there was very limited demand for flats (none in Finchampstead Village) and a large number of respondents specified specialised needs such as ground floor accommodation. The two first floor flats would not satisfy this need.
17. It is doubtful that there is a localised need within Finchampstead Village because of several factors, including the large numbers of current long term residents, the high median income and because there is no desire for flats within an area predominated by detached dwellings. Furthermore, only one person nominated on the housing register, which is significantly less than the apparent need expressed by respondents in the survey. Past practice has suggested that the true need is likely to be in the vicinity of 30-50% of the need registered in a Housing Need Survey. This is still in excess of the four units being provided in the proposal when considering the survey findings.
18. The Affordable Housing SPD states that the Council must be satisfied that there is a genuine identified local need within the parish boundary. On this aspect, the survey covers the southern part of the parish and excludes the main settlement of Finchampstead. As such, it is likely that there would be increased demand from those areas not included and which are closer to the application site than some areas that were included in the survey. This would, however, require residents relocating from the more accessible locations of Finchampstead in the north to the less accessible location of Finchampstead Village in the south to take up the accommodation.
19. On balance, it is concluded that there is likely to demonstrated need from the wider parish and it is envisaged that the proposal would satisfy demand and the type of development (four unit flat building), whilst not the most preferred, is the most effective and efficient outcome for addressing the identified need. As was the case in the previous refused application, the Planning Statement continues to state '*It is anticipated that tenants will be found within the Parish of Finchampstead, or within the wider Borough of Wokingham, if there are no suitable tenants in the immediate vicinity.*' This appears to go against the intent of the application and the findings of the Housing Needs Survey but it does not weigh against the conclusion that there is demand because any future approval would be secured in perpetuity by a legal agreement.
20. The second part of the process, the sequential test, was undertaken by Pegasus Group in June 2020. It considered sites within the settlement boundary first, followed by sites adjacent to the settlement boundary and then sites within and adjacent to the settlement boundary of Finchampstead North (the area excluded from the Housing Needs Survey). The set criteria used was that access be via a metalled road, it needed to be <0.5 hectares in area and the land considered viable for affordable housing. 17 potential sites were identified, including several sites promoted for inclusion in the Local Plan update.

21. The Council would also consider site access and relation to existing settlement, landscape impact, policy, amenity impact, planning history and proximity to services, costs and viability for development, whether it has been previously earmarked for development, community reaction and landowner preference.
22. Many of the identified sites were discounted because of the likely loss of trees. These concerns are concurred with as many of the edge of settlement locations in Finchampstead Village included TPO protected trees that were important in the setting of and approach into the village. Incidentally, the same concerns are encountered with this application.
23. Several other sites can reasonably be discounted on amenity grounds because of the site dimensions, loss of sporting facilities or an incompatibility with the pattern of development.
24. The sequential test then concludes that there are no alternative sites in sequentially preferable locations, fronting a metalled road and available, suitable and viable.
25. There is disagreement with the process of discounting any sites that are more than 0.5 hectares in size because it is viewed as too restrictive given the application site is 0.49 hectares and would benefit from greater separation from trees and additional amenity space. However, analysis of those discounted sites has indicated similar constraints that would render the sites undesirable for development.
26. The Housing Needs Survey also illustrated the desire for most respondents to be close to public transport and other facilities and services. On this aspect, the application site rates lower than many of the other sites. However, it is still viewed as being sustainably located. Moreover, this part of The Village lends itself more to the purposes and definition of a rural exception site in terms of maintaining the vitality and viability of a village more than it would in Finchampstead to the north of the parish which is a much larger settlement.
27. Nonetheless, the conclusions of the sequential test are accepted. The subject site has been gifted as a charitable donation for the purposes of residential accommodation and this weighs heavily to the benefit to the subject site. However, there remain unresolved issues surrounding the potential impact upon the veteran Oak on the adjacent property, as discussed in detail in paragraphs 48-63. This is indicative of an over development of the site and the siting of the parking and building rather than the prohibitive nature of the site itself because its development of a lesser scale is still feasible.
28. In conclusion, the supporting documentation has adequately demonstrated that there is likely to be demand for affordable housing for this size and tenure and that the subject site is the most appropriate location for it to be provided. As such, the concerns raised in Reason for Refusal 1 of 191392 are resolved.

Sustainability

29. Policies CP1, CP6, CP9 and CP11 of the Core Strategy permit development where it is based on sustainable credentials in terms of access to local facilities and services and the promotion of sustainable transport. Paragraph 4.57 in the Core

Strategy aims to prevent the proliferation of development in areas away from existing development limits as they are not generally well located for facilities and services and would lead to the increase in use of the private car.

30. Paragraph 78, 102, 103, 108, 110 and 122 seek to ensure the growth of sustainable transport in managing development that enhances the vitality of rural communities and approval of planning applications where it aims to *'promote sustainable travel modes that limit future car use'*.
31. The site is located outside the settlement limits and there is relatively limited access to facilities and services in the immediate area, including the following:
- 70m from the Petrol Station and adjoining corner shop/post office
 - 90m from the Finchampstead Sports Club
 - 250m from Finchampstead Church of England Primary School
 - 400m from the Greyhound Public House
32. Finchampstead North, which is 2.5km to the north, has a greater range of services, including a small supermarket. Crowthorne is also 3.5km to the east and includes additional services and a railway station. Access to any of these areas outside of the immediate village will almost certainly be made by private vehicle as the local bus services do not satisfy the definition of a good bus service. Route 145 is a weekly Tuesday service between Wokingham and Winnersh railway stations and Three Mile Cross. There is also a daily school service (Route 80) via a bus stop 550m to the east.
33. Nonetheless, it is felt that the proposal is acceptable on sustainability grounds because of its location adjacent to the settlement edge and because the provision of affordable housing for local residents based on need and connection to the area would most likely imply a lower trip generation and greater demand for the above facilities and services. The dwellings are also 1-bed flats, indicating that demand for school places is likely to be very low. As such, it is feasible that the site could be viewed as sustainable with the local services and facilities able to sustain some demand. Section 106 contributions for bus stop improvements, additional services or footpath and cycle way improvements could also alleviate some of the sustainability issues.
34. Furthermore, it is argued that it accords with the intent of paragraph 78 of the NPPF, which aims to promote *'sustainable development in rural areas, with housing located where it will enhance or maintain the vitality of rural communities. Planning policies should identify opportunities for villages to grow and thrive, especially where this will support local services. Where there are groups of smaller settlements, development in one village may support services in a village nearby.'*

Character of the Area

Density

35. Policy CP5 of the Core Strategy and Policy TB05 of the MDD Local Plan require an appropriate dwelling density and R10 of the Borough Design Guide SPD seeks to ensure that the development achieves an appropriate density in relation to local character. The density is measured at 82 dwellings or bedrooms per hectare. This

far exceeds the density of the surrounding area (9-12 dwellings per hectare), which is generally indicative of the limited development location.

36. The density does not directly manifest itself in terms of excessive bulk or scale or any associated adverse impact upon the character of the area. There is also adequate amenity afforded to future residents. However, the siting of the building footprint within a small site and the location of the car parking and access poses potential impacts for the protected Oak tree near the entrance and this is a clear consequence of the density of the development. This is discussed further in paragraphs 48-63 and forms part of the reasoning for Reason for Refusal 1.

General form

37. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale, mass, layout, built form, height and character of the area and it must be of high quality design. R1, RD1-RD5 and R11 of the Borough Design Guide SPD also require compatibility with the historic character of the local area, a coherent street character and retention of the character, setting and views of the village.
38. Furthermore, because of its edge of settlement location, Policy CC02 of the MDD Local Plan states that development at the edge of settlements respect the transition between the built up area and the open countryside. Similarly, RD9 of the Borough Design Guide SPD requires that development on the settlement edge create an edge and incorporate soft landscaping to integrate to the rural setting.
39. The officer report for the assessment of 191392 referred to the building footprint and front setback as well as the rear gables, central flat roof, position of the bin and cycle store and expanse of parking/lack of soft landscaping in reaching the conclusion that the proposal did not suit the edge of settlement location and harmed the character of the area.
40. The resubmission includes a 10m² reduction in the building footprint, 350mm increase in the front setback, deletion of one of the two rear facing gables, reduction in the size of the flat roof, the incorporation of a set down ridge to part of the building and the relocation of the bin and cycle store to the rear of the site. Whilst these are modest changes on their own, cumulatively they reduce the overall scale of the building and lessen the impression on the streetscene. It also significantly reduces the interpretation of the building as a flat building and it is now more consistent with the dwellings on the northern side of The Village.



Street elevation

Building Height

41. R9 of the Borough Design Guide SPD note that height, bulk and massing should respond to the local context and the prevailing heights in the area. The proposed two storey or 8.5m is, however, not out of place for its edge of settlement location when considering the two storey height of five of the six buildings on the northern side of The Village.

Building siting

42. R2 of the Borough Design Guide requires development to respond to context, including incorporating existing features, R3 and R4 require housing to relate to the existing network of streets and spaces and R7 requires a consistent building line relative to existing buildings. As noted above, the setback from the front boundary has been increased from 4.0m to 4.35m, which when considered with the other changes, achieves an adequate streetscape presence on the settlement edge.

Building Materials

43. R11, RD6 and RD7 of the Borough Design Guide SPD require that housing ensure a coherent street character, including materials, colour, proportions and details. Bricks, tiles and uPVC windows are nominated and subject to further pre commencement details to ensure that it complements the countryside to the west, no issue is raised.

Building Design

44. Paragraph 130 of the NPPF states that 'where the design of a development accords with clear expectations in plan policies, design should not be used by the decision-maker as a valid reason to object to development.' The building is of a standard architectural design, with dual pitch roof to the front elevation and gable ends to the sides. Whilst there is a lack of any real articulation or architectural expression, it is an acceptable design for the countryside and edge of settlement location.

Parking

45. P2 of the Borough Design Guide SPD ensures that parking is provided in a manner that is compatible with the local character. The officer report for the previous refused application argued that the parking area dominated the area and was not typical of its countryside location. There has been no change to its proportions of the car park and would no longer form the basis for the refusal of the application on its own when considering the cumulative benefits of other parts of the scheme. However, it still poses unreasonable harm to the protected veteran Oak near the corner of the site and would be unacceptable on this basis. Were it to be acceptable, it would also be subject to pre commencement details relating to the surfacing of the carpark and landscape screening to ensure that it minimises the potential for the hard surfacing to detract from the settlement edge setting.

Outbuildings

46. R20 of the Borough Design Guide SPD requires consideration of external elements including the bin and cycle storage to avoid proliferation of clutter. A combined bin and cycle store is located in the south eastern rear corner, having been relocated from the front of the site. This resolves the concerns originally raised in 191392.

Conclusion

47. The changes made to the application since the refusal of 191392 are relatively minor in their nature but are adequate in achieving a development that is more sympathetic to its surroundings, which include the countryside to the west and south and similar two storey development to the north. Whilst some concerns raised in the previous refused scheme remain unresolved, they are no longer sufficient to warrant refusal of the application on their own. There is, however, continued concern with the siting of the carpark and building in relation to the veteran Oak to the east, as noted in paragraphs 48-63.

Landscape and Trees

48. Policy CC03 of the MDD Local Plan aims to protect green infrastructure networks, promote linkages between public open space and the countryside, retain existing trees and establish appropriate landscaping and Policy TB21 requires consideration of the landscape character.

49. Paragraph 170(b) of the NPPF requires that planning applications enhance the natural and local environment by '*recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services – including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland.*'

Landscape Character

50. The site is located along The Village – a main route in Finchampstead Village heading towards Fleet Hill. The Village is relatively straight and shares the characteristics of the 'rides' typical of the neighbouring M1 character area, most typically found at Nine Mile Ride, Sandhurst Road and Finchampstead Road, with

mature trees, especially Oak trees of great height and presence, a native hedgerow, high quality landscaped edges and ditch and verge to the road.

51. It is in the Wokingham District Landscape Character Area N2 'Finchampstead Pastoral Sandy Lowland', a high quality landscape of strong character in good condition, and of moderate sensitivity to change. The landscape strategy is to conserve and strengthen and the key features of the character area include, amongst others, mixed pastoral landscape with a variety of enclosure patterns, scrubby overgrown shelterbelts, roadside belts, small woods and scattered remnant hedgerow trees enhancing the wooded context and a quiet rural landscape with a unobtrusive network of rural roads, drainage ditches, small brooks and drainage channels.

52. It is also in close proximity to the neighbouring character area of A3 'Blackwater River Valley', a high quality landscape of strong character in good condition and high sensitivity to change. The landscape strategy is to preserve the tranquil rural valley character.

Hedgerows

53. The Phase 1 Habitat Survey identifies the hedge along the roadside boundary as a Priority Habitat. The hedge consists of a variety of species including Privet, Blackthorn, Oak, Horse Chestnut, Ash, Hawthorn, Sycamore, Dog rose, Bramble and Ivy and has a viable herbaceous understorey and is of ecological value locally, including as nesting habitat for birds. A section of the hedge will be removed to facilitate the site entrance, which is not opposed. It is not anticipated that hedgerow will need to be removed to accommodate visibility splays.

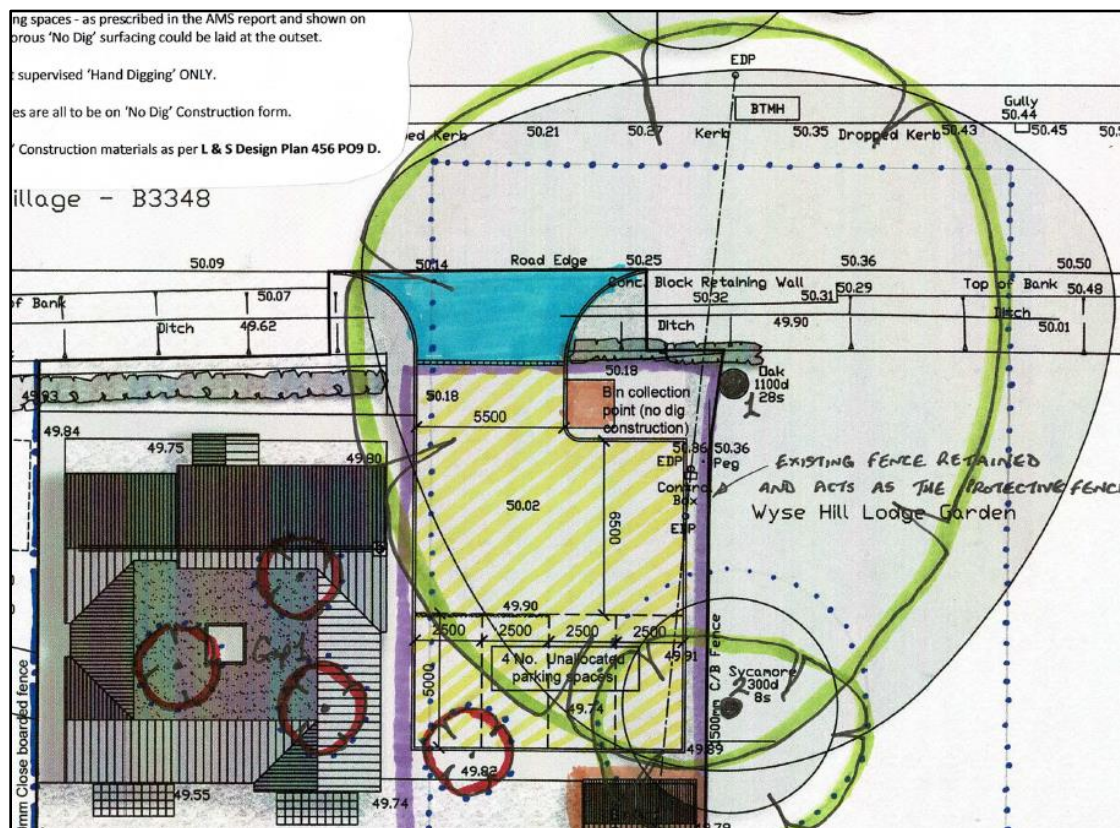
Trees

54. Tree T1 (Oak) and T2 (Sycamore) are TPO protected under TPO 1681/2019, the listing coming after the refusal of the previous planning application for the site. Tree T1 is identified as a Veteran on the Ancient Tree Inventory (Ref 65229), the listing dating from 20 September 2009. It has a prominent street presence on the right hand side of the approach along The Village, particularly evident when travelling eastwards.



Approach on The Village from the west

55. The Tree Survey, Arboricultural Method Statement (AMS) and Tree Protection Plan that were submitted with 1913912 have since been revised. The key difference is the description of T1 and the reduction of its radial protection area from 15% to 11.25% to reflect the crown loss described and illustrated in the AMS *'in view of the crown loss and subsequent reduced demands for water/nutrients to sustain it'* with a reduction in the root protection area (RPA) from 707m² to 530.25m². The RPA as illustrated in the AMS is depicted below.



Applicant's estimated root protection zone of Tree 1

56. The Council's Landscape Officer has reviewed the documentation and in particular, the RPA of T1. The AMS makes an assumption that the roots of the Oak tree may

have gone into the road but would have also rooted into the paddock within the subject site and the adjacent garden of Wyse Hill Lodge. On the contrary, the Council's Landscape Officer concludes that the roots would not have travelled across the well maintained ditch or beneath a retaining wall or metalled road. As a consequence, the RPA should be redistributed further into the site and the garden of Wyse Hill Lodge, thereby encountering a larger proportion of the footprint of the proposed building and the carpark. Furthermore, it is noted that the RPA is a minimum requirement in accordance with paragraph 3.7 of BS5837:2012.

57. Moving to what is considered to be an appropriate incursion into a RPA (regardless of the differences in its calculation between the applicant and the Council):

- Paragraph 175 states that development resulting in the loss or deterioration of irreplaceable habitats (such as veteran trees) should be refused, unless there are wholly exceptional reasons and a suitable compensation strategy exists
- Paragraph 5.3 of BS5837:2012 requires that any encroachment of the RPA must be justified, it must be demonstrated that the tree can remain viable and that the area lost to encroachment must be compensated for elsewhere, contiguous with its RPA.
- Paragraph 5.3.1 of the BS5837:2012 states that *'The default position should be that structures (see 3.10) are located outside the RPAs of trees to be retained. However, where there is an overriding justification for construction within the RPA, technical solutions might be available that prevent damage to the tree(s) (see Clause 7). If operations within the RPA are proposed, the project arboriculturist should demonstrate that the tree(s) can remain viable and that the area lost to encroachment can be compensated for elsewhere, contiguous with its RPA'*
- Paragraph 7.4.2.3 of the BS5837:2012 states that *'New permanent hard surfacing should not exceed 20% of any existing unsurfaced ground within the RPA'*

58. The subsequent incursion into the root protection zone is significant and certainly much more than that shown in plan form above and more than 20% that is considered acceptable. Moreover, compensation is not possible as the tree is not on the adjacent site. Any subsequent compromising of its health and integrity of the Oak, which in the view of the Council's Landscape Officer is inevitable, would have significant ramifications for the landscape character of this part of the Green Route of The Village. The tree offers a dominating framing entrance at the western end of Finchampstead and is readily evident in views, contributing significantly to the character of the settlement edge.

59. 'No dig' construction is proposed over the bin collection area, which could in theory satisfy the requirements of BS5837:2012. The carpark will also comprise 'no dig' construction, a porous geotextile membrane with treated wooden pegged board edging, small diameter gravel and shallow excavation for surrounding landscaping. However, there is lack of clarity in terms of existing and proposed levels, with any lifting soil levels over RPAs of more than 100mm being unacceptable.

60. Target 19 of the Wokingham Climate Emergency Progress Report refers to a tree strategy, including long term retention trees, ongoing recruitment to veteran tree population, policies to avoid loss of established habitat will help retain carbon stores and improved retention rates of trees, the logic being the longer trees are standing

the longer carbon is locked up. The potential loss of this tree would be contrary to this intent.

61. Tree T2 is a smaller Sycamore to the south of T1 and together they form a visual edge to the eastern site boundary. A small orchard of a few trees within the site and south of the site includes Black Poplars and Scots Pine. Further away on the west side of the site are T3 Oak and T4 Ash, that provide a visual screen at the west end. These trees are likely to be retained without undue impacts.
62. In conclusion, the Council's Landscape Officer argues that it is unclear whether any technical solution will work and regardless, there is no overriding justification for a technical solution. The above concerns form the basis of Reason for Refusal 1.
63. R14 of the Borough Design Guide SPD requires well-designed hard and soft landscaping that complements housing. Hedgerow is proposed within the site, including along the rear boundary, and this is supported. However, there is limited replacement planting to compensate for hedgerow loss and potential tree loss. However, notwithstanding the aforementioned concerns with the Oak, any planning permission would be subject to a pre commencement condition requiring replacement landscaping details to ensure an appropriate transition to the countryside to the west given the built up boundary will have moved westward.

Unit Mix

64. Policy CP5 of the Core Strategy requires an appropriate mix of dwelling types, tenures and sizes so that the housing needs of the community are met. Policy TB05 of the MDD Local Plan requires an appropriate housing mix which reflects a balance between the underlying character of the area and both the current and projected needs of households. For affordable housing, this is 20% x 1-bed, 45% x 2-bed, 20% x 3-bed and 15% x 4-bed. Furthermore, the Berkshire (including South Bucks) Strategic Housing Market Assessment (February 2016) also identifies future housing need for the Wokingham Borough, with 2 and 3-bed dwellings making up the largest proportion of dwellings. The Council's housing needs register also shows that 57% are seeking 1-bed dwellings and 26% are seeking 2-bed dwellings.
65. The unit mix is confined to 1-bed dwellings which is generally in accordance with the demand and policy direction for smaller dwellings. Whilst some 2-bed dwellings would be favourable, it does not form the basis for the refusal of the application because of the small scale of the development.

Housing Amenity

Internal amenity

66. Policy TB07 of the MDD and R17 of the SPD require adequate internal space to ensure the layout and size achieves good internal amenity. In accordance with the Technical housing standards – nationally described space standard, a minimum standard of 50m² applies for a 1-bedroom, two person occupancy dwelling and the dwellings are all more than 50m² in area.
67. Bedrooms should have a minimum area of 11.5m² and living spaces should have a minimum area of 23m². There should also be provision for 1.5m² storage. The

proposed units accord with this requirement with the exception of undersized living rooms (19m²). However, with a separated kitchen area, ample bedroom area and as the units are 1-bedders, there is no real compromising of the internal amenity and no objection is raised.

68. R18 of the SPD requires sufficient sunlight and daylight to new properties, with dwellings afforded a reasonable dual outlook and southern aspect. The units extend the length of the building, allowing for three aspects and good access to sunlight to the rear and circulation through the building. On this basis, no objection is raised.

External amenity

69. R16 of the SPD requires a minimum depth of 11m for rear gardens with space for play and clothes drying, a 1m setback for access and direct sunlight.
70. There are no private amenity areas for the units and the proposal instead relies upon a communal rear garden. The previous scheme included a reason for refusal relating to inadequate amenity space for the occupants of the four units. It referred to the garden depth of 3.2m-4.8m and the total area was 97m² as being insufficient.
71. A parcel of land has now been added to the rear of the site to increase the amount of space but this is offset by the relocation of the building closer to the rear boundary and the provision of the cycle and bin store in the south eastern corner, resulting in a net gain of only 13m² albeit with an increased depth of 3.2m-6.2m. Whilst the increase in depth and area is an improvement and is could perceivably be acceptable, the ground floor units open onto the open space such that the rear garden remains almost exclusively for the ground floor occupants. Of the area to the side of the building, part of it will be used for access to the bin and cycle store. First floor balconies would likely resolve this concern. This was suggested to the applicant but not included in the revised scheme. On this basis, it forms Reason for Refusal 2.

Residential Amenities

72. R15 of the Borough Design Guide SPD requires the retention of reasonable levels of visual privacy to habitable rooms, with separation of 22m to the rear and 10m to the street, R16 requires separation distances of 1.0m to the side boundary and 11m to the rear boundary and R18 of the Borough Design Guide SPD aims to protect sunlight and daylight to existing properties, with no material impact on levels of daylight in the habitable rooms of adjoining properties.
73. By virtue of its removed location away from neighbouring dwellings, compliance with the minimum setback standards in R15 and R16 as measured to neighbouring residential properties (at least 18m across the road to the north and the existence of farmland to the south and west), there are no real concerns of overlooking, dominance or loss of sunlight and daylight.
74. Policy CC06 and Appendix 1 of the MDD Local Plan requires that development protect noise sensitive receptors from noise impact. The internal layout includes the grouping and stacking of rooms within each floor to minimise noise transmission between the common wall. This is a positive design outcome. Noise levels from

traffic on The Village is also not significant and it is unlikely that there will be acoustic issues to occupants at the front of each unit.

Access and Movement

Car Parking

75. Policy CC07 and Appendix 2 of the MDD Local Plan stipulates minimum off street parking standards. A four x 1-bed development in this location would require a total of 2.4 unallocated spaces whilst four spaces of 5m x 2.5m are provided.
76. The previous refused application included four allocated spaces, resulting in a departure of 1.2 spaces and a concern that vehicles would park on The Village, thereby posing issues with traffic flow. The change in this scheme is to nominate the spaces as unallocated, allowing any of the spaces to be available to any resident or visitor. This frees up the parking spaces for use at any time rather than being assigned to a specific unit. In doing so, it resolves the Council's concerns with a lack of on site car parking and the concerns that were raised in the previous scheme are no longer raised, particularly when recognising that there is at least one space per unit. .

Cycle Parking

77. Policy CC07 and Appendix 2 of the MDD Local Plan stipulates minimum cycle parking standards and Policies P2 and P3 of the Borough Design Guide SPD ensure that it is conveniently located, secure and undercover and provided where it is compatible in the streetscene. A cycle storage shed is provided adjacent to the main entrance. It is secure, covered, easily accessible for residents and adequately sized for use by the occupants of the development. In this respect, no objection is raised.

Access and Traffic

78. A new access drive will be constructed onto The Village. It measures 5.5m in width and is bonded to 3.3m. Whilst this is short of the 5m standard requirement of the Council, it still achieves its intent of minimising spill onto the road and as such, no objection is raised. Visibility splays of 43m each way, at 2.4m from the road, are provided, which responds the 30mph speed limit increasing to 40mph to the west of the site. A swept path analysis indicates that there is adequate turning for a standard car within the site. This allows for two way access, forward movement and safe egress and on this basis, the access arrangements are satisfactory. This information was incomplete within the previous refused application and in addressing these shortcomings, the reason for refusal is resolved.
79. It is also unlikely that the proposal would have an adverse impact on the highway network.

Ecology

80. Policy TB23 of the MDD Local Plan requires the incorporation of new biodiversity features, buffers between habitats and species of importance and integration with the wider green infrastructure network.

81. The site comprises a plot of amenity grassland with areas of ephemeral vegetation, tall ruderal vegetation and scattered trees/shrubs, bounded to the north by a species rich hedgerow.
82. The application was accompanied by a Preliminary Ecological Appraisal prepared by John Wenman Ecological Consultants, dated June 2020. It details the results of an ecological assessment and reptile surveys, updated from surveys undertaken in 2018 to address shortcomings identified in the planning assessment of the proposal in 191392.
83. The report identifies the potential for the site to be used by several protected species including reptiles and mammals and notes that the hedgerow is species rich and is a UK Priority Habitat. It concludes that the small section of hedgerow that is required to be removed to provide for access is acceptable. However, it would need to be compensated for because if unmitigated, there is a low risk of reptiles, great crested newts (GCN) and nesting birds being harmed during site clearance and construction. The remaining hedgerow and oak tree will need to be protected during works.
84. To mitigate and compensate for any negative ecological impacts, Section 8 of the ecology report sets out appropriate measures for ecological mitigation, compensation and enhancement, and these recommendations would be secured via condition. In addition, biodiversity measures are required and as any new external lighting has the potential to adversely affect foraging and commuting bats and other wildlife, further details would be required by condition.
85. Subject to the above measures, the concerns raised in reason for refusal 6 of 191392 have been addressed and no further objection is raised.

Sustainable Design/Construction

86. Policy CC04 of the MDD Local Plan and the Sustainable Design and Construction SPD require sustainable design and conservation and R21 of the Borough Design Guide SPD requires that new development contribute to environmental sustainability and the mitigation of climate change. The supporting documentation indicates that the development would be detailed to comply with the Building Regulations and Level 4 of the Code for Sustainable Homes and in this respect, no objection is raised.

Boundary Treatments

87. R5 of the Borough Design Guide SPD requires a clear distinction between the public and private areas and R12 of the Borough Design Guide SPD states that boundary treatments contribute positively to the character of the area.
88. The proposal includes the retention of existing hedgerow to the road frontage, with the exception of the new entrance, which will remain open. New timber close boarded fencing to the side and rear boundaries is also proposed and was deemed to be unacceptable for its countryside location in the previous refused application. Whilst nothing has changed in this application, it is recognised that the proposed fencing meets all the requirements of permitted development. Moreover, it also

includes wildlife access and is now complemented by hedgerow along the rear boundary. On this basis and despite opposition from the Council's Landscape Officer, no objection is raised.

Waste Storage

89. Policy CC04 of the MDD Local Plan requires storage and a collection area for the segregation of waste, recycling, green waste and composting. A bin store has been proposed alongside the vehicular entrance. It is suitably located for storage and collection and is adequately sized to accommodate the likely waste and recycling from the proposed development. On this basis, no objection is raised.

Flooding and Drainage

90. The site and access thereto is located within Flood Zone 1 although there is localised surface water flooding from an adjacent watercourse identified on Council's mapping. Nonetheless, the proposal was accompanied by a Flood Risk Assessment and it indicates that there is no additional flood risk or vulnerability and the proposal is acceptable in terms of Policy CC09.

91. A surface water drainage strategy was included as part of the flood risk assessment and through the application of SuDS principles, surface water will be discharged via a soakaway, which is acceptable in principle. No objection is raised in terms of Policy CC10 of the MDD Local Plan subject to further pre commencement drainage details.

92. R23 of the Borough Design Guide SPD also notes that parking spaces in front gardens must be paved with permeable surfaces to avoid any increase in surface water run-off and should include for soft landscaping. The surface of the parking area and access is not noted on the plans and this would be permeable by condition, along with an additional condition requiring a permeable bonded material at the entrance.

Environmental Health

93. The area is listed as potentially contaminated on Council's inventory with the two likely potential sources of contamination being Park View Motors garage/filling station to the east and a former builder's yard approximately 70m to the south west.

94. A desktop study was undertaken which considered that there was a very low to low risk of contamination but recommended that a watching brief be undertaken. Any future planning permission would be subject to a condition requiring these ground investigation works.

The Public Sector Equality Duty (Equality Act 2010)

95. In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in

relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

96. Policy CP2 of the Core Strategy seeks to ensure that new development contributes to the provision of sustainable and inclusive communities, including for aged persons, children and the disabled. The ground floor units would be accessible, with level access from the parking area and the footpath leading from The Village (although the street footpath is on the northern side of The Village). On this basis, no objection is raised.

Affordable Housing

97. Policy CP5 of the Core Strategy, Policy TB05 of the MDD Local Plan and the Affordable Housing SPD specify an affordable housing rate of 40% for any development involving five dwellings or more on land with a total area of 0.16 hectares or more. There is fewer than five dwellings on a site of less than 0.16 hectares and as such, there is no requirement for affordable housing. Nonetheless, the development is proposed as 100% affordable housing, which would be secured by legal agreement and retained in perpetuity given the principle of the development is only acceptable by virtue of meeting the requirements as a rural exception site. However, as the application is recommended for refusal, the agreement has not been sought but is instead outlined in Reason for Refusal 4.

Thames Basin Heaths Special Protection Area

98. Policy CP8 of the Core Strategy states that where development is likely to have an effect on the Thames Basin Heaths Special Protection Area (TBH SPA), it is required to demonstrate that adequate measures to avoid and mitigate any potential adverse effects are delivered.
99. The subject application includes a net increase of four dwellings on a site that is within 5km of the TBH SPA. Policy CP8 states that where there is a net increase in dwellings within 5km of the SPA, an Appropriate Assessment is required to be undertaken. This is attached to this report at Appendix 2 and has concluded that contributions to access management measures and monitoring in line with the Delivery Framework will be required.
100. The mitigation measures would ordinarily be outlined in a Section 106 agreement in the form of the provision of Suitable Alternative Natural Greenspace (SANG) at Rocks Nest Wood and a monetary contribution for ongoing monitoring (SAMM). The planning permission is conditional on the completion of this agreement and the applicant acknowledges this in their supporting documentation. However, as the application is recommended for refusal, the agreement has not been sought but for future reference, is outlined in Reason for Refusal 3. This is the same outcome reached in the assessment of 191392.

Community Infrastructure Levy

101. The application is entitled to Charitable and/or Social Housing Relief and is not liable for CIL payments because it is (a) for 100% affordable housing and (b) Wokingham Area Housing Society is a charitable organisation.

CONCLUSION

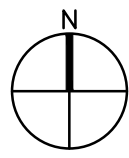
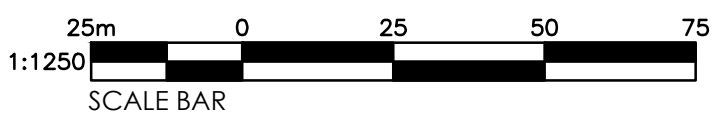
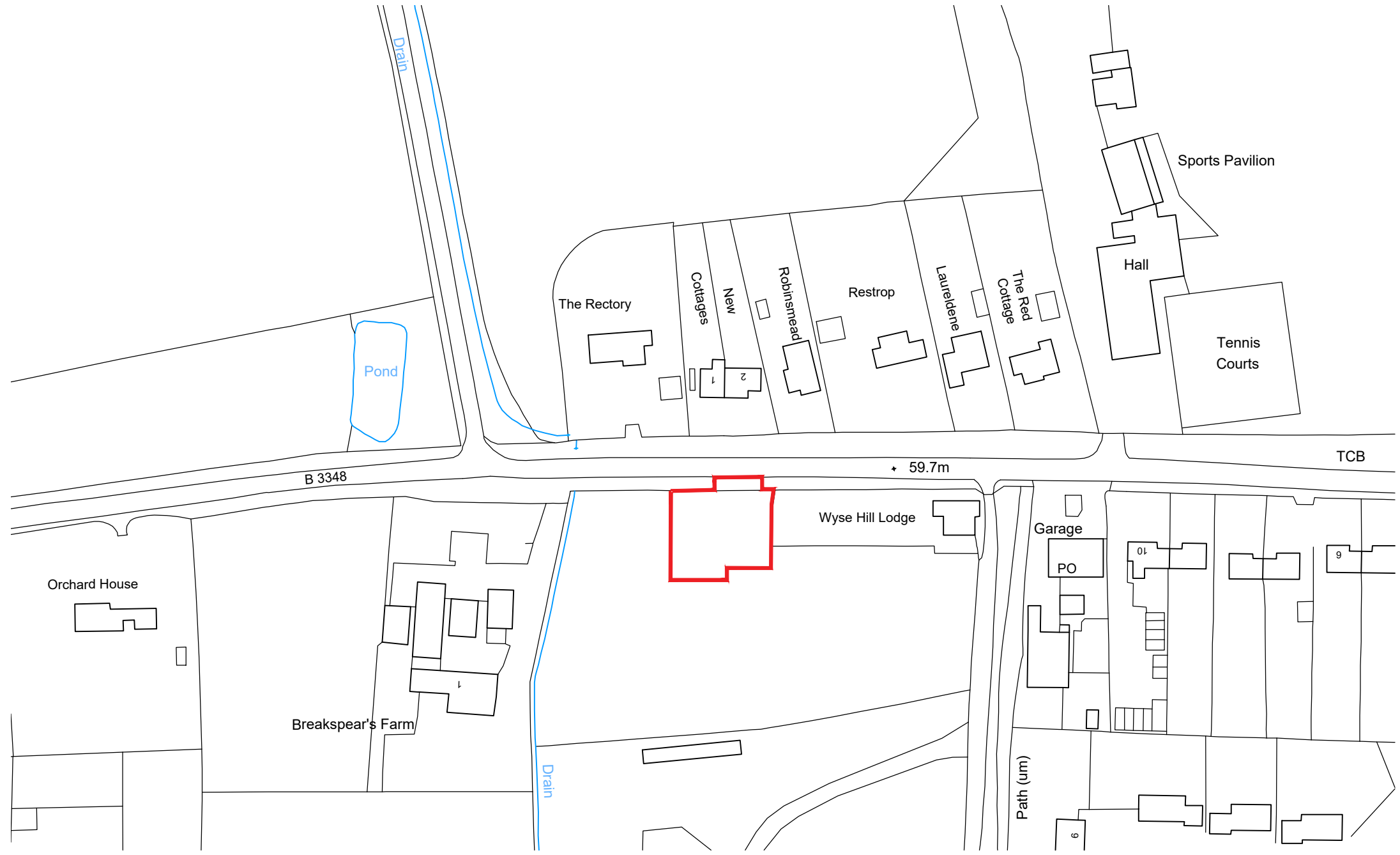
102. The most up-to-date Five Year Housing Land Supply Statement demonstrates the Council has a five year housing land supply. At 31 March 2019, the deliverable land supply was 6.39 years against the local housing need of 804 additional homes per annum plus a 5% additional buffer. Recent case law has demonstrated that this is intact despite the lockdown and economic slowdown during the Covid-19 pandemic.
103. The development delivers a net increase of four dwellings, which brings economic benefits including job creation and expenditure in an edge of settlement location. The social impacts are significant including adding vitality to the local area, addressing the identified affordable housing need, allowing for residents to retain ties to the local area and support for local businesses. However, the environmental benefits are limited because of any ecological benefits are countered by the likely impact upon the Oak tree.
104. The latter impacts weighs heavily against the scheme and because the spatial strategy of the development plan is delivering in excess of the housing requirement for the borough set out the Framework, it is concluded that the proposal is unacceptable. The subject site is outside of the settlement boundary and in an unsustainable location and the development of two dwellings on the site is considered to be unacceptable and is not supported.
105. Of the reasons given for the refusal of planning application 191392, the following comments are provided in relation to the subject application:
- 1) Principle of development: Where there was a lack of information, a Housing Needs Survey and sequential assessment, with identified localised need has been provided and no further issue is noted
 - 2) Character of the area: Where density, scale, built form, setbacks, expanse of parking, siting of the bin store and lack of soft landscaping were cited as cumulative impacts upon the character of the area, these have since been resolved through revisions to the scheme and no further objection is noted
 - 3) Potential harm to trees: The impact upon Tree 1 (Oak) remains unresolved.
 - 4) Lack of car parking: Four parking spaces have been provided, which is unchanged from the previous refusal. However, the spaces are now specified as unallocated, which meets the parking standards and resolves the Council's concerns
 - 5) Lack of access details: Where there was a lack of information, visibility splays and swept paths have now been provided and no issue is raised
 - 6) Lack of ecology details: Where there was initially insufficient information to confirm whether there was an adverse ecological outcome for protected species, further studies have been undertaken and no further concern is raised
 - 7) Lack of amenity space: The initial concerns related to depth and area of privacy amenity space. These concerns remain, as outlined in Reason for Refusal 2.
 - 8) Inappropriate boundary treatments: The proposed close boarded fencing was atypical of the countryside and limited opportunities for wildlife but a review of the scheme in this application is such that no further objection is noted.
 - 9) Lack of mitigation for the Thames Basin Heaths Special Protection Area: The refusal reason related to the lack of a legal agreement and this remains the case, Reason for Refusal 3 remains valid

106. In addition to the above, it is noted that a lack of a legal agreement to secure the affordable housing component of 191392 was not listed as a reason for refusal. Upon review, however, this is now included as Reason for Refusal 4.

APPENDICES

1. Plans and elevations
2. Finchampstead PC comments
3. Appropriate Assessment


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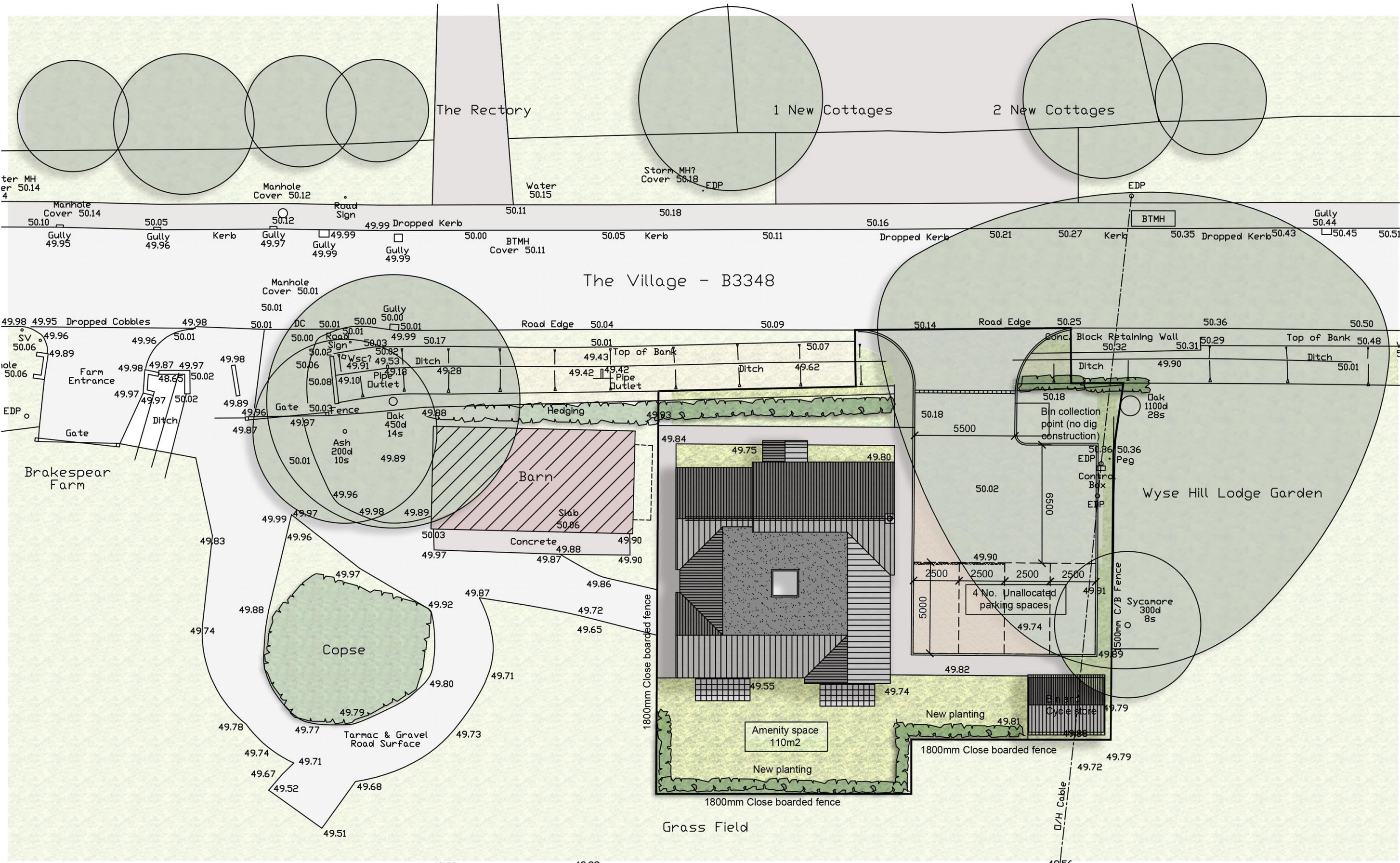


Revision

Project	Land Adjoining Wyse Hill Lodge, Finchamstead, Wokingham
Title	Location plan

Client	Wokingham Area Housing Society		
Drawn	RF	Checked	
Scale	1:1250@A3	Approved	
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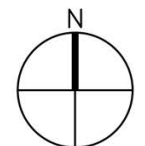
 Lines & Squares Ltd 81 London Road Knebworth Herts SG3 6HG			
			Project No.
LS456	P01	A	



76



SCALE BAR



Project
Land Adjoining Wyse Hill Lodge,
Finchamstead, Wokingham

Title
Proposed site plan

Client
Wokingham Area
Housing Society

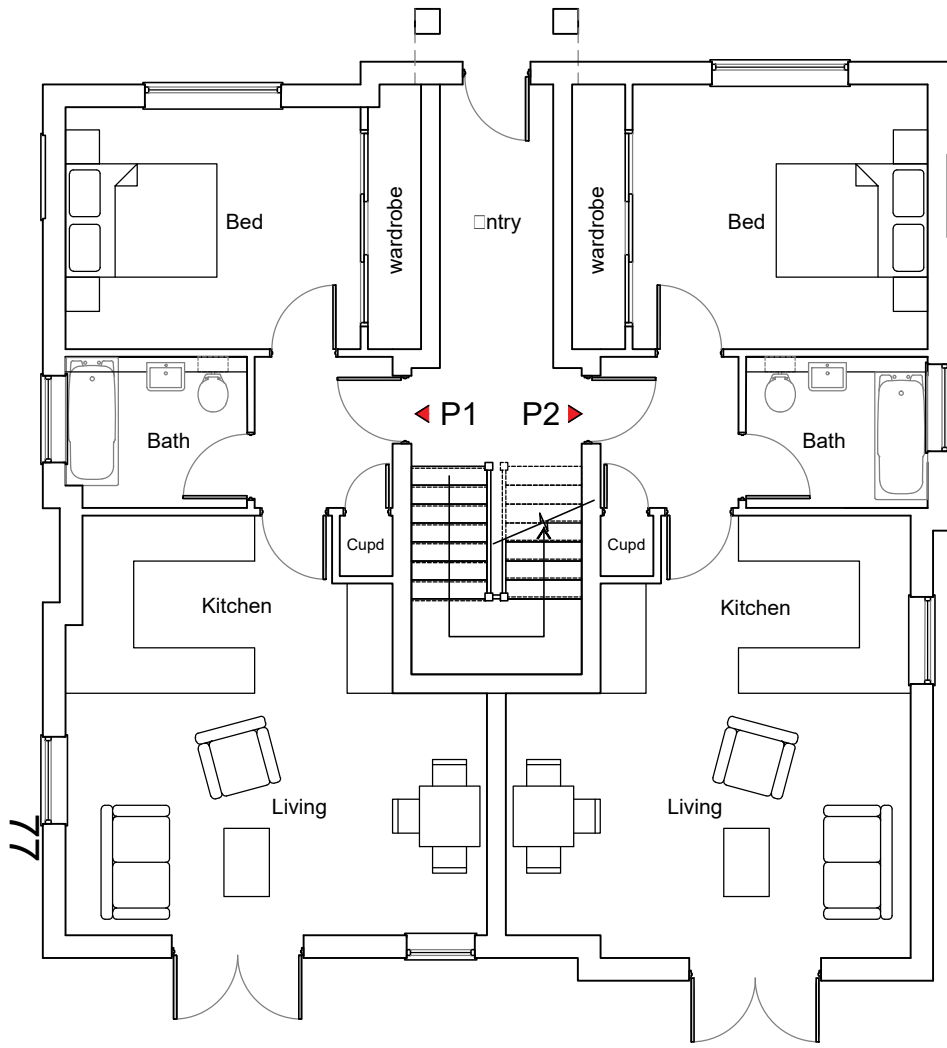
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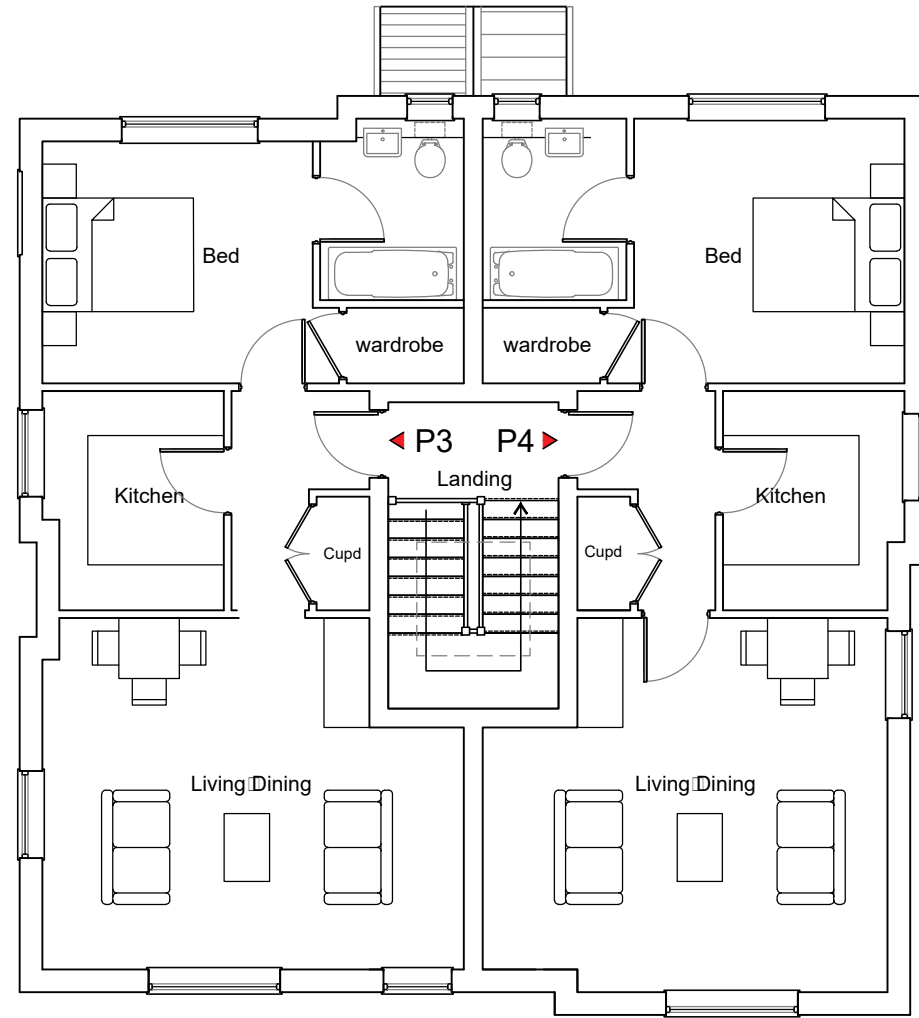
L&S Lines & Squares Ltd
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Herts SG3 6HG

Project No.	Drawing No.
LS625	P03

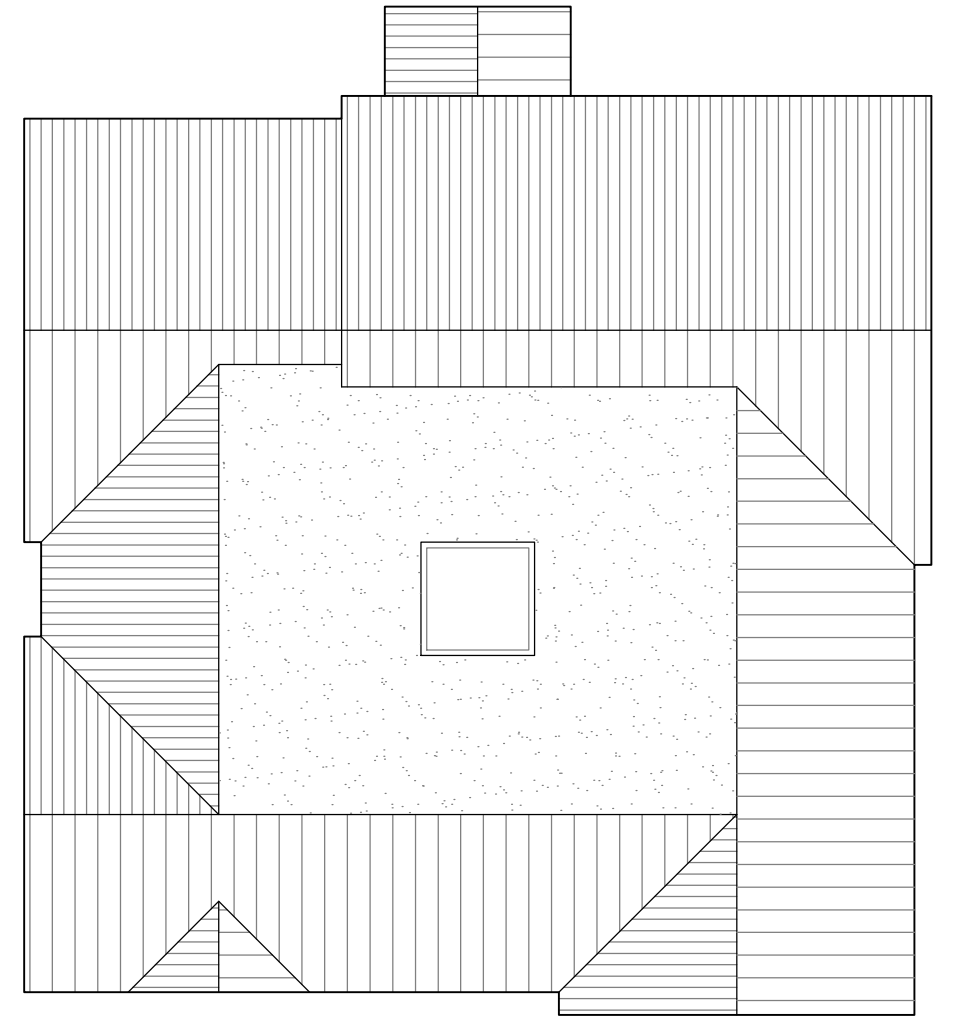
F



GROUNDFLOOR PLAN



FIRST FLOOR PLAN



ROOF PLAN



SCALE BAR

Project
**Land Adjoining Wyse Hill Lodge,
 Finchamstead, Wokingham**

Title
**Proposed
 Floor Plans**

Client
**Wokingham Area
 Housing Society**

Drawn	BF	Checked	
Scale	1:100@A3	Approved	

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Project No.	Drawing No.	
LS625	P04	B



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



Project	
Land Adjoining Wyse Hill Lodge, Finchamstead, Wokingham	
Title	
Proposed Elevations	

Client			
Wokingham Area Housing Society			
Drawn	BF	Checked	
Scale	1:100@A3	Approved	
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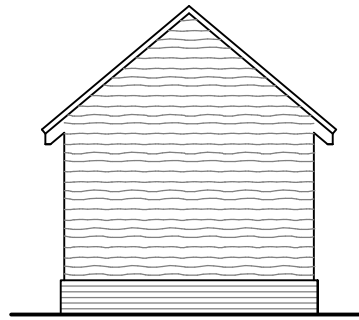
Lines & Squares Ltd 81 London Road Knebworth Herts SG3 6HG			
			Project No.
LS625	P05	B	



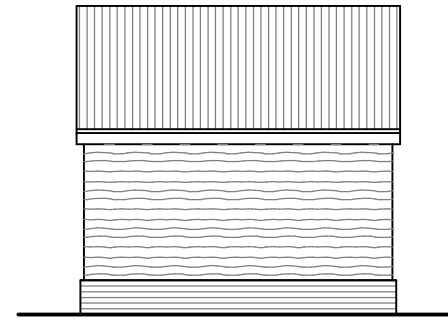
Side Elevation



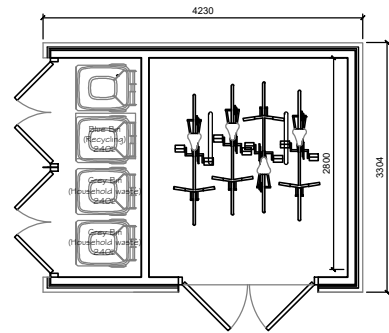
Front Elevation



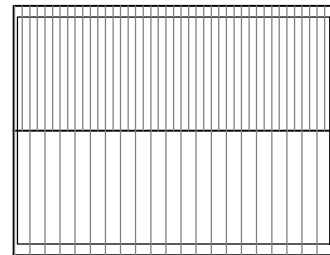
Side Elevation



Rear Elevation



Ground Floor Plan



Roof Plan



SCALE BAR

Project	
Land Adjoining Wyse Hill Cottage, Finchamstead, Wokingham	
Title	
Proposed Bin & Cycle Store	

Client	
Wokingham Area Housing Society	

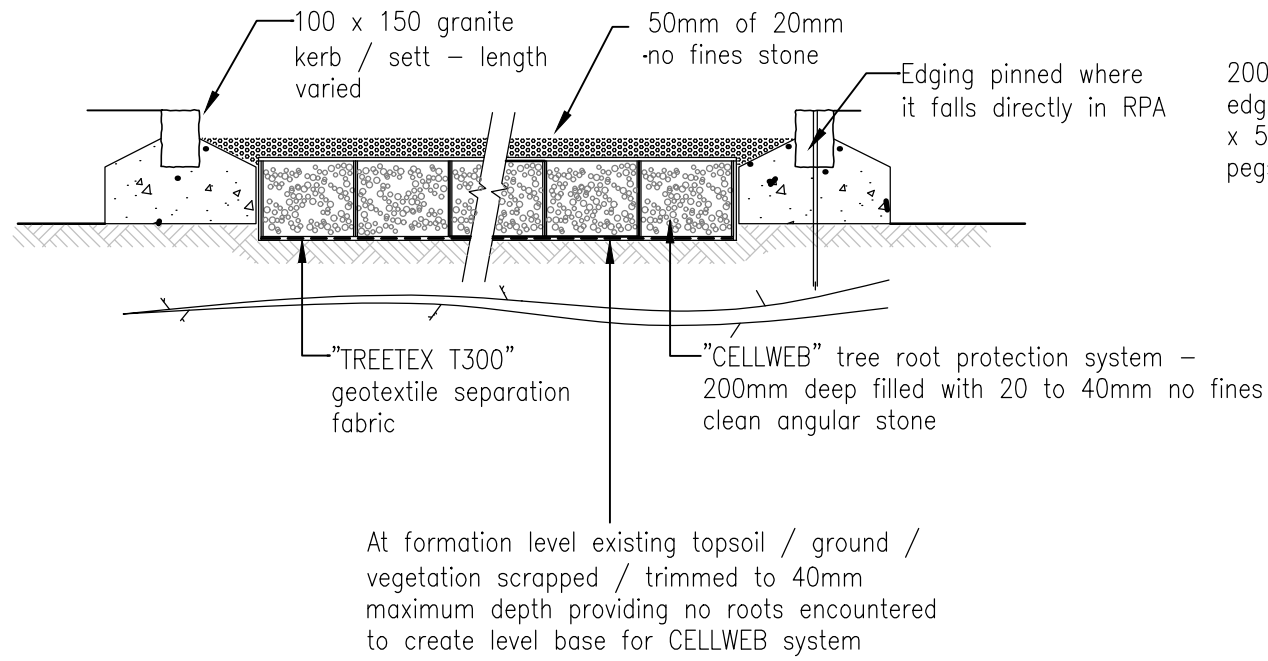
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Project No.	Drawing No.
LS456	P06

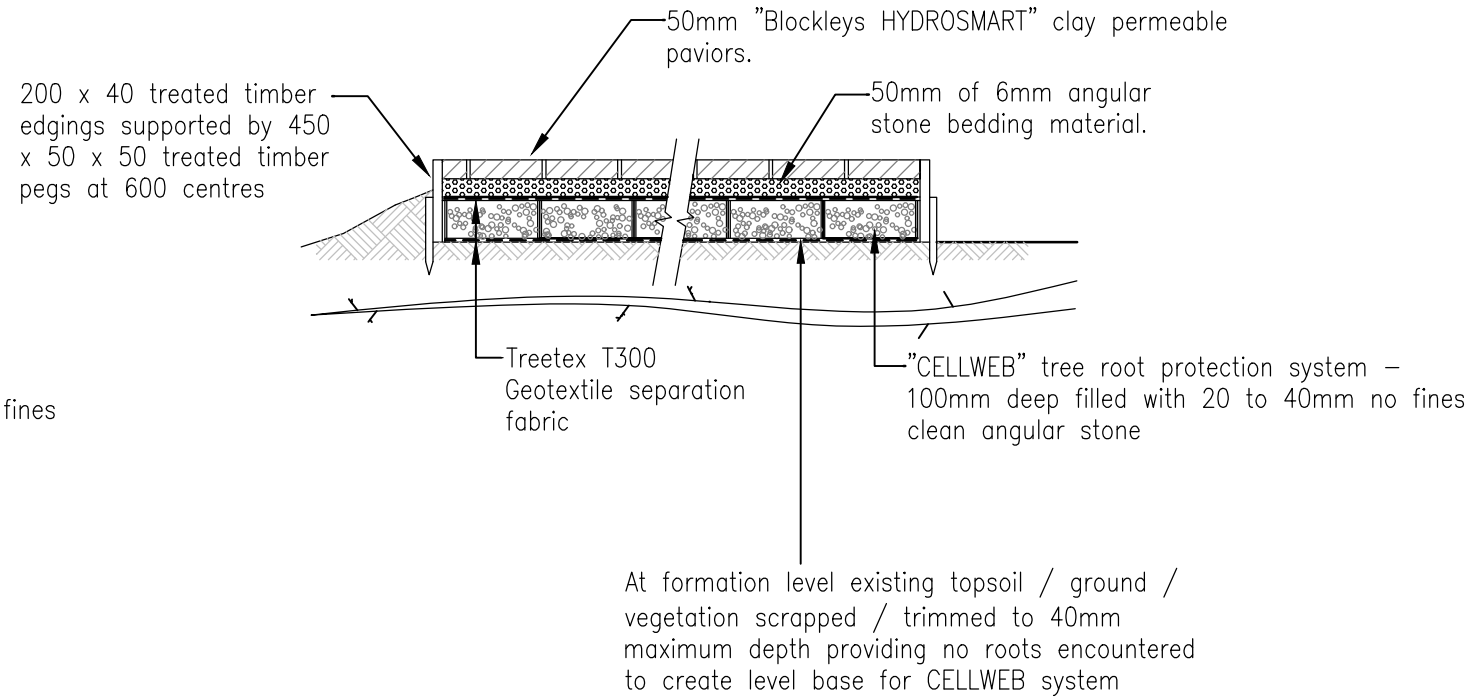
200mm "CELLWEB" No-Dig Drive Construction
(Typical Section) *200 NDC*



Detail 1 @ 1:20

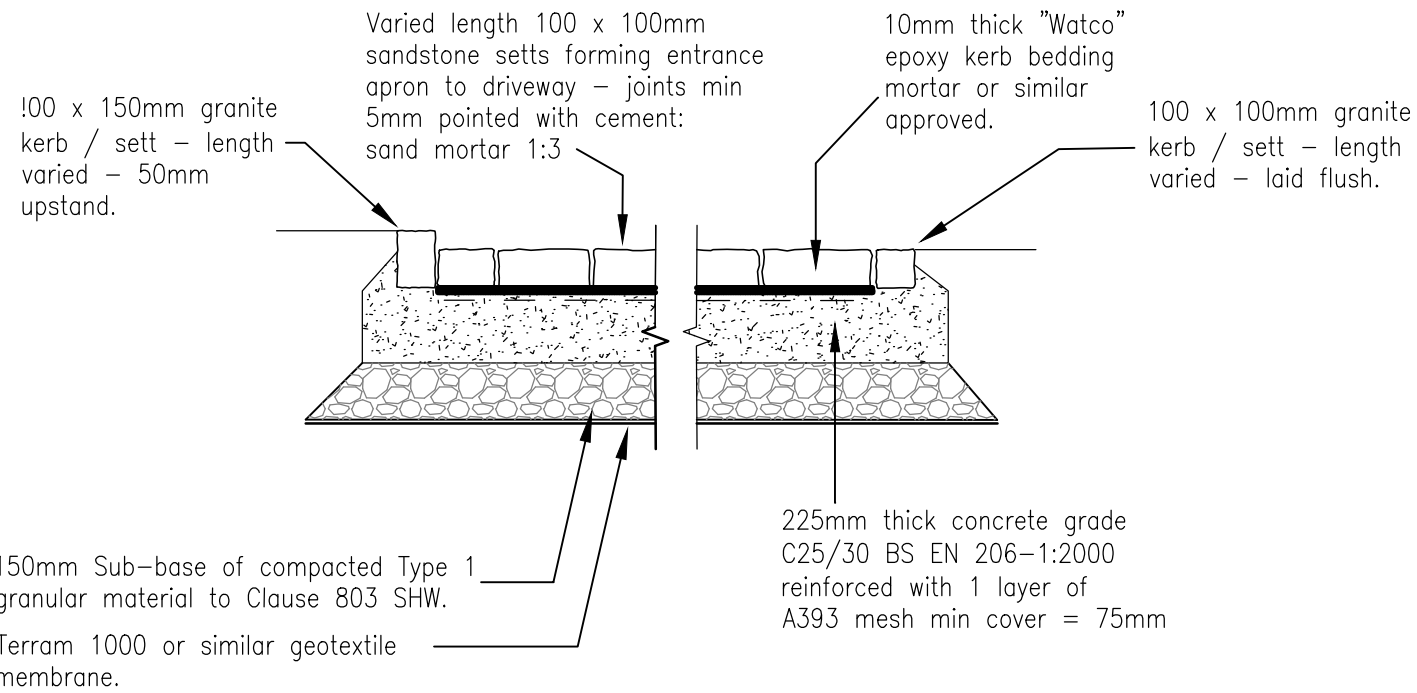
08

100mm "CELLWEB" No-Dig Permeable Pavement
/ Bin store base Construction (Typical Section)
100 PPC



Detail 2 @ 1:20

GRANITE SETT ENTRANCE APRON DETAIL



Detail 3 @ 1:20

NOTES:

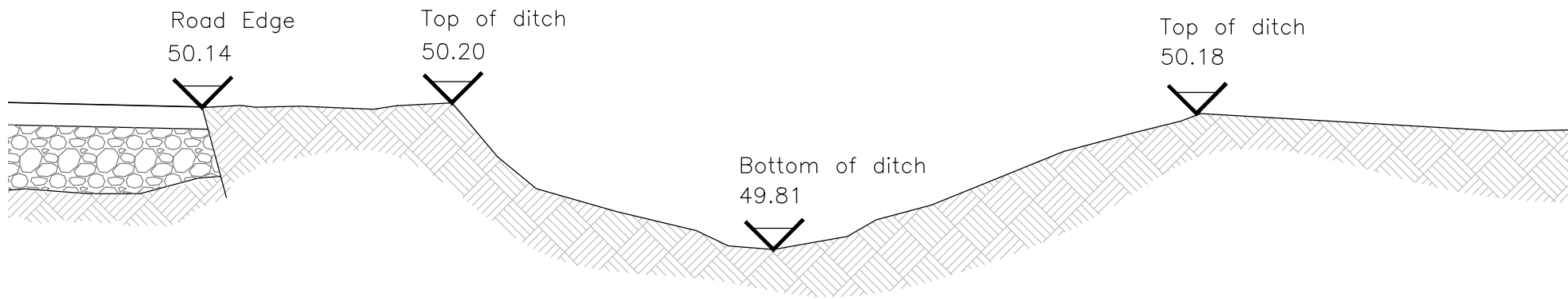
1. Design based upon 2% CBR.
2. Prior to any construction commencing formation to be inspected / approved by Local Authority Arbo Officer / RGS.
3. Detail delineates no dig pavement construction generally - edge restraint details may vary along with construction make up to formation / pavement level. see Dwg No 105 02 for edge restraint key.

Project	Land Adjoining Wyse Hill Lodge, Finchamstead, Wokingham		
Title	Typical site sections		

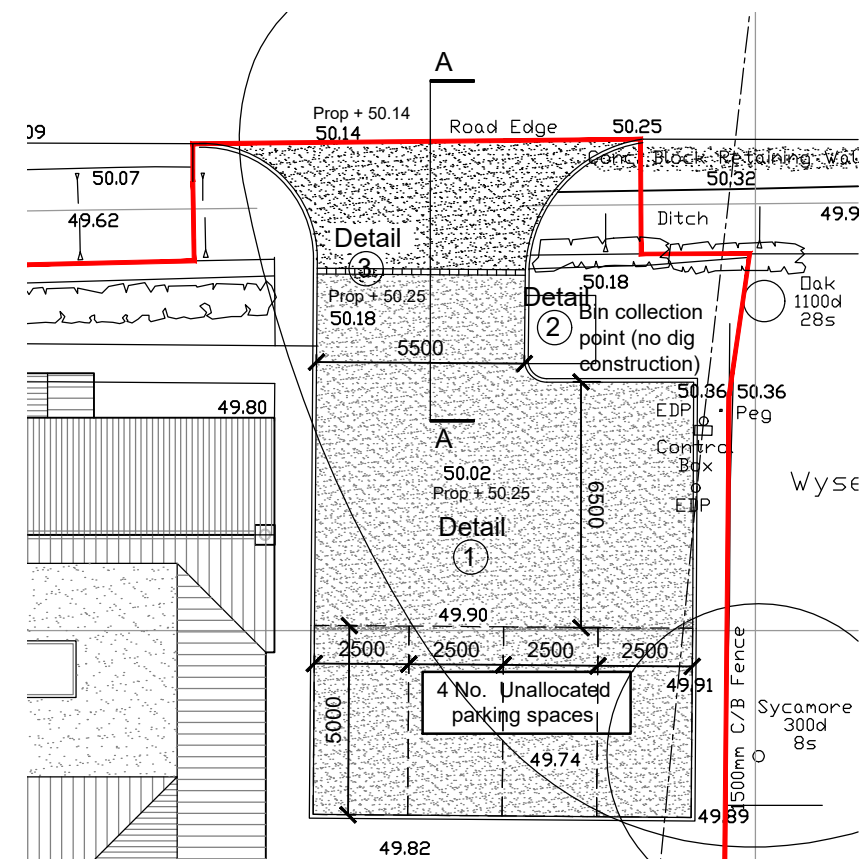
Client	Wokingham Area Housing Society		
Drawn	BF	Checked	
Scale	1:20@A3	Approved	
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L&S RESTORATION	Lines & Squares Ltd 81 London Road Knebworth Herts SG3 6HG		
	Project No.	Drawing No.	
LS456	P10	C	

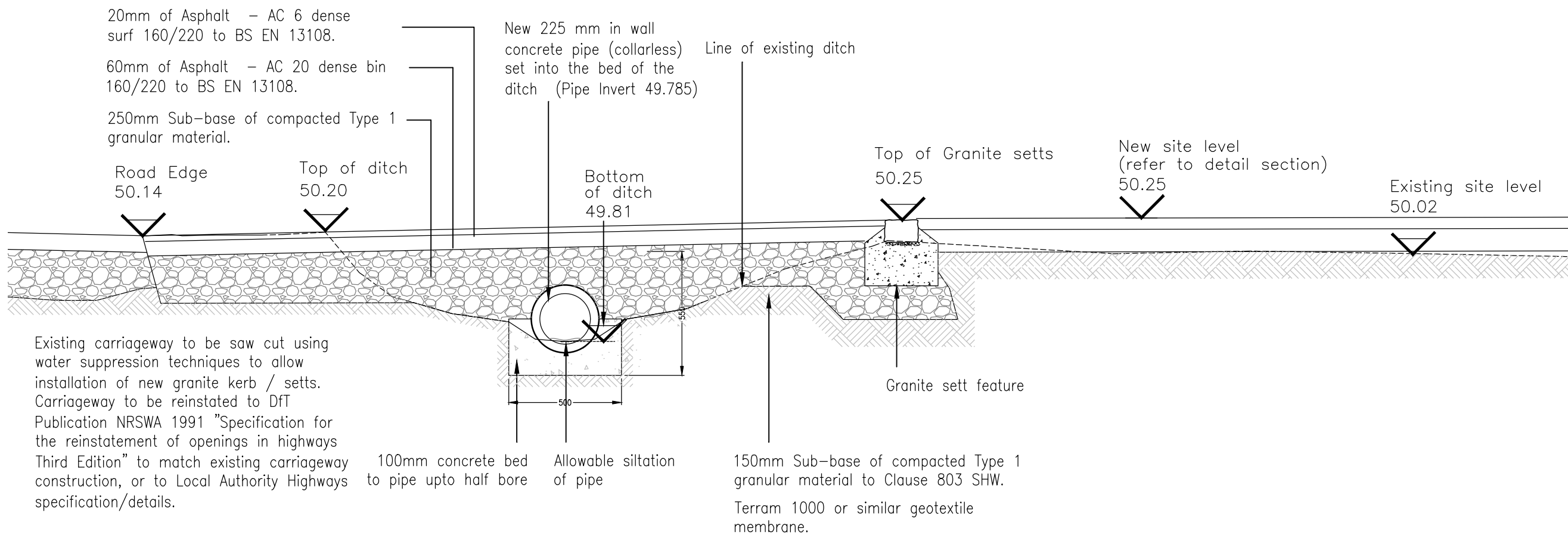
Existing profile of ditch prior to crossover



Section through existing ditch 1:20



Key Plan 1:200



Section through proposed ditch 1:20
Section A - A

Project	Land Adjoining Wyse Hill Lodge, Finchamstead, Wokingham		
Title	Typical sections through entrance		

Client	Wokingham Area Housing Society		
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Drawn	BF	Checked	
Scale	1:20@A3 1:200@A3	Approved	

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 Herts SG3 6HG

Project No.	LS456	Drawing No.	P09		D
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82

Project
 Land Adjoining Wyse Hill Lodge,
 Finchamstead, Wokingham

Title
 Proposed
 View East along The Village

Client
 Wokingham Area
 Housing Society

Drawn	BF	Checked	
Scale	1:100@A3	Approved	

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 Herts SG3 6HG

Project No.	—	Drawing No.	—	□
LS456		P08		



83

Project
**Land Adjoining Wyse Hill Lodge,
 Finchamstead, Wokingham**

Title
**Proposed
 View West along The Village**

Client
**Wokingham Area
 Housing Society**

Drawn	BF	Checked	
Scale	1:100@A3	Approved	

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Project No.	—	Drawing No.	—	□
LS456		P07		

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PLANNING REF : 201566
PROPERTY ADDRESS : FBC Centre
: Gorse Ride, Finchampstead, Wokingham
: RG40 4ES
SUBMITTED BY : Finchampstead Parish Council
DATE SUBMITTED : 23/07/2020

COMMENTS:

We support this application on the basis it is going to be developed as a rural exception site with priority given to Finchampstead residents or those with a proven close relationship with Finchampstead.

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The Conservation of Habitats and Species Regulations 2017
Screening Assessment and Appropriate Assessment

In the light of the “Sweetman Judgement” (People Over Wind and Sweetman v Coillte Teoranta, April 2018), the comments below comprise an Appropriate Assessment which includes advice on necessary avoidance and mitigation measures which is consistent with the advice provided to the Planning Inspectorate on such matters.

Summary of Response

WBC, in consultation with Natural England, has formed the view that any net increase in residential development between 400m and 5km straight-line distance from the Thames Basin Heath Special Protection Area (SPA) is likely to have a significant effect on the integrity of the SPA, either alone or in-combination with other plans or projects. An Appropriate Assessment has been carried out which includes regard to mitigation requirements.

This site is located approximately 2.57km (measured from the access road to the application site) from the boundary of the SPA and therefore is likely to result in an adverse effect on the SPA, unless it is carried out together with appropriate avoidance and mitigation measures.

On commencement of the proposed development, a contribution (calculated on a per-bedroom basis) is to be paid to Wokingham Borough Council (WBC) towards the cost of measures to avoid and mitigate against the effect upon the Thames Basin Heaths SPA, as set out in WBC’s Infrastructure Delivery Contributions Supplementary Planning Document (SPD).

The strategy is for relevant developments to make financial contributions towards the provision of Suitable Alternative Natural Greenspaces (SANGs) in perpetuity as an alternative recreational location to the SPA and financial contributions towards Strategic Access Management and Monitoring (SAMM) measures.

In this instance, the proposed development would result in a net increase of four X 1-bedroom dwellings within 5km of the SPA which results in a total SANG contribution of £6271.92.

The proposed development is required to make a contribution towards Strategic Access Management and Monitoring (SAMM) which is also calculated on a per bedroom basis. Taking account of the per bedroom contributions this results in a total SAMM contribution of £1507.44.

The total SPA related financial contribution for this proposal is £7779.36. The applicant **must agree** to enter into a S106/s111 agreement to secure this contribution prior to occupation of each dwelling. Subject to the completion of the S106 agreement, the proposal would not lead to an adverse effect on the integrity of the SPA and would comply with SEP Saved Policy NRM6, policy CP8 of the Core Strategy, and the NPPF.

1. The Conservation of Habitats and Species Regulations (2017)

In accordance with The Conservation of Habitats and Species Regulations (2017) Regulation 63 a competent authority (in this case Wokingham Borough Council (WBC)), before deciding to undertake, or give any consent, permission or other authorisation for, a plan or project which—

- a. is likely to have a significant effect on a European site...(either alone or in combination with other plans or projects), and
- b. is not directly connected with or necessary to the management of that site.

must make an appropriate assessment of the implications of the plan or project for that site in view of that site's conservation objectives.

A person applying for any such consent, permission or other authorisation must provide such information as WBC may reasonably require for the purposes of the assessment or to enable it to determine whether an appropriate assessment is required.

WBC must for the purposes of the assessment consult Natural England (NE) and have regard to any representations made by that body. It must also, if it considers it appropriate, take the opinion of the general public, and if it does so, it must take such steps for that purpose as it considers appropriate. In the light of the conclusions of the assessment, and subject to Regulation 64 (Considerations of overriding public interest), WBC may agree to the plan or project only after having ascertained that it will not adversely affect the integrity of the European site.

In considering whether a plan or project will adversely affect the integrity of the site, WBC must have regard to the manner in which it is proposed to be carried out or to any conditions or restrictions subject to which it proposes that the consent, permission or other authorisation should be given.

2. Stage 1 Screening for Likely Significant Effects

WBC accepts that this proposal is a 'plan or project' which is not directly connected with or necessary to the management of a European Site. The Thames Basin Heaths Special Protection Area (SPA) is a European designated site which affects the borough, and WBC must ensure that development does not result in an adverse impact on the SPA. The potential adverse effects on the integrity of the SPA include recreational activities from inside the SPA and air pollution from inside and outside the SPA.

At this stage WBC cannot rule out 'likely significance effects' on the SPA (alone or in combination with other plans or projects) because the proposal could undermine the Conservation Objectives of these sites. This is because the proposal lies within 5 km of the SPA and represents a net increase in dwellings within 400m-5km of the Thames Basin Heaths Special Protection Area (SPA) which will lead to an increase in local population and a potential increase in recreational activity on the SPA.

As the 'likely significance effects' cannot be ruled out at this stage an Appropriate Assessment must be undertaken.

3. Stage 2 Appropriate Assessment

Based on the information proposed by the applicant, WBC must decide whether or not an adverse effect on site integrity (alone or in combination with other plans or projects) can be ruled out. Mitigation may be able to be provided so that the proposal is altered to avoid or reduce impacts.

The following policies and guidance set out WBC's approach to relevant avoidance and mitigation measures which have been agreed with Natural England. For the majority of housing developments this will comprise the provision of (or contribution towards) Suitable Alternative Natural Greenspace (SANG) and a contribution towards the Strategic Access Management and Monitoring (SAMM) Project. The financial contributions towards SANG would be either through an obligation in a s106 agreement that requires WBC to allocate an appropriate amount of the development CIL receipt towards the provision of SANG, or through an obligation in an agreement under s111 of the Local Government Act, that requires the developer to make an appropriate financial contribution towards the provision of SANG (to be used in the event that the developer successfully seeks CIL relief). Developers will be required to secure an appropriate financial contribution to the SAMM project through an obligation in a s106 agreement.

For SDL development (and occasionally some other larger non SDL developments) within 5km of the SPA, SANG is required at a minimum of 8 ha per 1,000 new residents, constructed and delivered to Natural England's quality and quantity standards and a contribution towards pan SPA access management and monitoring (as advised by the Thames Basin Heaths Joint Strategic Partnership Board). For SDL development (and occasionally some other larger non SDL developments) between 5 and 7km, the proposals will need to be individually assessed but it is likely that SANG will be required on site in line with Natural England's quality and quantity standards, although the exact requirement will be agreed having regard to evidence supplied.

a. Policies and Guidance

For this proposal the following guidance and policies apply:

- South East Plan (May 2009) Policy NRM6 (Thames Basin Heaths Special Protection Area)
<http://webarchive.nationalarchives.gov.uk/20100528160926/http://www.gos.gov.uk/gose/planning/regionalPlanning/815640/>
- Wokingham Borough Core Strategy (2010) Policy CP8 (Thames Basin Heaths Special Protection Area) sets out the approach WBC will take in order to protect the TBH SPA <http://www.wokingham.gov.uk/planning/planning-policy/local-plan-and-planning-policies/>
- Wokingham Borough Core Strategy (2010) Policy CP7 (Biodiversity) sets out the approach WBC will take in order to protect national and international nature conservation sites <http://www.wokingham.gov.uk/planning/planning-policy/local-plan-and-planning-policies/>
- Wokingham Borough Managing Development Delivery Local Plan (2014) Policy TB23 (Biodiversity and Development)
<http://www.wokingham.gov.uk/planning/planning-policy/local-plan-and-planning-policies/>

- Infrastructure Delivery and Contributions SPD (2011)
<http://www.wokingham.gov.uk/EasySiteWeb/GatewayLink.aspx?alld=193415>

The project as proposed would not adversely impact on the integrity of the SPA if avoidance and mitigation measures are provided as stipulated by these policies and guidance.

b. SPA Avoidance and Mitigation Measures

i) The provision of Suitable Alternative Natural Greenspace (SANG) and its ongoing maintenance in perpetuity.

In accordance with the development plan, the proposed development will be required to provide alternative land to attract new residents away from the SPA. The term given to this alternative land is Suitable Alternative Natural Greenspace (SANG).

As this development is not part of an SDL, the developer may make a payment contribution towards strategic SANGs in line with schedule below (most likely this will be at Rooks Nest Wood SANG although it is subject to SANGs capacity in the right location within Wokingham borough). An occupation restriction will be included in the Section 106 Agreement in order to ensure that the contribution has been made prior to occupation of the dwellings. This gives the certainty required to satisfy the Habitats Regulations in accordance with South East Plan Policy NRM6 (iii) and Core Strategy Policy CP8

The development will result in a net increase of four dwellings, broken down as follows: 1 no x bedroom dwellings. Depending on the dwelling mix, the level of SANG payments are set out as follows:

No. of bedrooms	SANG Contribution	Aggregate SANG Contribution
1 bedroom	£1,567.98	£6271.92
Total SANG Contribution		£6271.92

ii. Strategic Access Management and Monitoring (SAMM) Contribution

The proposed development will also be required to make a contribution towards Strategic Access Management and Monitoring (SAMM). This project funds strategic visitor access management measures on the SPA to mitigate the effects of new development on it.

The level of contributions are calculated on a per bedroom basis. The application for this development is for four x 1 bedroom dwellings and the level of SAMM payments are calculated as follows:

No. of bedrooms	SAMM Contribution	Aggregate SAMM Contribution
1 bedroom	£376.86	£1507.44

Total SAMM Contribution	£1507.44
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Prior to the permission being granted the applicant must enter into a Section 106 Agreement based upon the above measures.

4. Conclusion

An Appropriate Assessment has been carried out for this development in accordance with the Habitats Regulations 2017. Without any appropriate avoidance and mitigation measures the Appropriate Assessment concludes that the development is likely to have a significant effect upon the integrity of the SPA with the result that WBC would be required to refuse a planning application.

In the absence of a planning obligation to secure suitable avoidance and mitigation measures and access management monitoring arrangements, in terms that are satisfactory to the Local Planning Authority (LPA), the LPA is unable to satisfy itself that the proposals include adequate mitigation measures to prevent the proposed development from having an adverse effect on the integrity of the Thames Basin Heaths SPA, in line with the requirements of Regulation 63 of the Conservation of Habitats and Species Regulations 2017 and Article 6(3) of Directive 92/43/EEC. The proposal would be contrary to Policy NRM6 of the South East Plan, Policies CP8 and CP4 of the Core Strategy.

Date:	24/08/2020	Signed:	Simon Taylor
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Agenda Item 25.

Application Number	Expiry Date	Parish	Ward
201345	08/09/2020	Wokingham	Evendons

Applicant	IPIF
Site Address	Fishponds Estate Fishponds Road Wokingham RG412QJ
Proposal	Full application for the proposed erection of a building consisting of 1no. Self-storage facility (Use Class B8) and 2no. industrial units (Use Classes B1, B2 and B8) with associated hardstanding and soft landscaping, following demolition of existing Units 718 and 720 Millars Business Park.
Type	Full application
Officer	Baldeep Pulahi
Reason for determination by committee	Major application (Floorspace over 1000sqm)

FOR CONSIDERATION BY	Planning Committee on Wednesday, 09 September 2020
REPORT PREPARED BY	Assistant Director – Place

SUMMARY

The application site is located off Molly Millars Lane and is within the Fishponds Estate which a defined Core Employment Area in the Core Strategy. The proposal comprises the demolition of the two existing warehouse units and the erection of one consolidated warehouse building consisting of a self-storage facility (Class B8) and two industrial units (Classes B1, B2 and B8) with 71 car spaces, a loading bay, associated hardstanding and soft landscaping.

The proposal satisfies Policy CP15 of the Core Strategy in terms of providing additional Class B Use floorspace (4,676m²). It also accords with paragraph 80 of the National Planning Policy Framework in providing an opportunity for the growth and expansion of the site. It is being undertaken in a sustainable location with close proximity to public transport. Therefore the principle of development is acceptable.

The proposal would be of a contemporary design with a height of 10.5m and due to its sitting with the existing industrial estate the proposal would not have any detrimental impact on the character of the area. The proposed building would have a sufficient separation distance from the Alexandra Garage Nursing Home and other surrounding properties, ensuring there would not be a detrimental impact on neighbour amenity nor on the neighbouring buildings within the industrial estate.

There are no objections to the scheme on Tress and Landscape, Ecology, Environmental Health and Drainage grounds. There were also no objections received from Wokingham Town Council, the ward member or surrounding properties. The application represents a positive outcome for the site and is recommended for approval subject to various pre commencement and pre occupation conditions and a legal agreement securing an Employment Skills Plan for the reasons set out in this report.

PLANNING STATUS

- Major Development Location
- Core Employment Area – Molly Millars Industrial Area

- Water Utility Consultation Zone
- Contaminated Land Consultation
- Flood Zone 2 & 3
- Historic Flooding Points
- Bat Roost Habitat Suitability
- Landfill Gas Consultation Zone
- Landscape Character Assessment
- SSSI Impact Risk Zones
- Thames Basin Heaths SPA Mitigation

RECOMMENDATION

That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following:

- a) A legal agreement to secure an Employment Skills Plan for the site. If the Agreement is not completed within 3 months of the date of this resolution, planning permission will be refused unless the Operational Manager in consultation with the Chairman of the Planning Committee agree to a later date;**
- b) The following conditions and informatives:**

Conditions

1. Timescale

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of s.91 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved details

This permission is in respect of the submitted application plans and drawings received by the local planning authority on 04/06/2020 and numbered:

- a) Location Plan 19055-C4P-AV-00-DR-A-0100 Rev P3
- b) Existing Site Layout Plan 19055-C4P-AV-00-DR-A-0101 Rev P4
- c) Proposed Roof Plan 19055-C4P-V1-R1-DR-A-3300 Rev P2
- d) Proposed First Floor Plan 19055-C4P-V1-01-DR-A-2001 Rev P2
- e) Proposed Site External Finishes 19055-C4P-V1-01-DR-A-2001 Rev P2
- f) Proposed Cycle Store and Bin Store 19055-C4P-AV-00-DR-A-0503 Rev P1
- g) Proposed Site Section 19055-C4P-AV-ZZ-DR-A-0700 Rev P3

and the submitted application plans and drawings received by the local planning authority on 09/06/2020 and numbered:

- h) Existing Building Elevations 19055-C4P-V1-ZZ-DR-A-1100 Rev P2
- i) Existing Building Plan Unit 721 19055-C4P-V1-00-DR-A-1001 Rev P1
- j) Existing Building Plan Unit 720 19055-C4P-V1-ZZ-DR-A-1000 Rev P1

and the submitted application plan received by the local planning authority on 10/08/2020 numbered:

- k) Proposed Site Plan 19055-C4P-AV-00-DR-A-0500 Rev P6

and the submitted application plans and drawings received by the local planning authority on 21/08/2020 and numbered:

- l) General Arrangement Plan Level 00 19055-C4P-V1-00-DR-A-2000 Rev P4
- m) General Arrangement Plan Level 02 19055-C4P-V1-02-DR-A- 2002 Rev P4
- n) Proposed Elevations (Sheet 01) 19055-C4P-V1-ZZ-DR-A-2101 Rev P4
- o) Proposed Elevations (Sheet 02) 19055-C4P-V1-ZZ-DR-A-2012 Rev P4.

The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure the development is carried out in accordance with the application form and associated details hereby approved.

3. Construction Management Plan

No development shall take place, including any works of demolition, until a Construction Management Plan has been submitted to, and approved in writing by, the local planning authority. The Statement shall provide for:

- i) the parking of vehicles of site operatives and visitors,
- ii) loading and unloading of plant and materials,
- iii) storage of plant and materials used in constructing the development
- iv) the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate,
- v) wheel washing facilities
- vi) measures to control the emission of dust and dirt during construction
- vii) a scheme for recycling/disposing of waste resulting from demolition and construction works

The approved Statement shall be adhered to throughout the demolition and construction period.

Reason: In the interests of highway safety & convenience and neighbour amenities. Relevant policy: Core Strategy policies CP3 & CP6.

4. Site Investigation and Risk Assessment

Unless otherwise agreed by the local planning authority, development other than that required to be carried out as part of an approved scheme of remediation must not take place until parts (a)-(d) of this condition have been complied with. If unexpected contamination is found after development has begun, development must be halted on that part of the site affected by the unexpected contamination to the extent specified by the Local Planning Authority in writing until part (d) has been complied with in relation to that contamination

a) Site Characterisation

An investigation and risk assessment to include gas risk, must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site. The contents of the scheme are subject to the approval in writing of the local planning authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the Local Planning Authority. The report of the findings must include:

- (i) a survey of the extent, scale and nature of contamination;
- (ii) an assessment of the potential risks to human health, property (existing or proposed) including buildings, service lines and pipes, adjoining land, groundwaters and surface waters, ecological systems and archeological sites and ancient monuments;
- (iii) an appraisal of remedial options, and proposal of the preferred option(s).

This must be conducted in accordance with DEFRA and the Environment Agency's *'Model Procedures for the Management of Land Contamination, CLR 11'*.

b) Submission of Remediation Scheme

A detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment must be prepared, and is subject to the approval in writing of the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

c) Implementation of Approved Remediation Scheme

The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out remediation, unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced, and is subject to the approval in writing of the Local Planning Authority.

d) Reporting of Unexpected Contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment

must be undertaken in accordance with the requirements of part (a), and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of part (b), which is subject to the approval in writing of the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with part (c).

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

Relevant policies: Section 11 NPPF and Core Strategy Policies CP1 and CP3.

5. Landscaping details

No development shall take place until full details of both hard and soft landscape proposals have been submitted to and approved in writing by the local planning authority. These details shall include, as appropriate, proposed finished floor levels or contours, means of enclosure, car parking layouts, other vehicle and pedestrian access and circulation areas, hard surfacing materials and minor artefacts and structure (e.g. furniture, play equipment, refuse or other storage units, signs, lighting, external services, etc). Soft landscaping details shall include planting plan, specification (including cultivation and other operations associated with plant and grass establishment), schedules of plants, noting species, planting sizes and proposed numbers/densities where appropriate, and implementation timetable.

All hard and soft landscape works shall be carried out in accordance with the approved details prior to the occupation of any part of the development or in accordance with a timetable approved in writing by the local planning authority. Any trees or plants which, within a period of five years after planting, are removed, die or become seriously damaged or defective, shall be replaced in the next planting season with others of species, size and number as originally approved and permanently retained.

Reason: In the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

6. Drainage details

No development shall take place until seasonal groundwater data for the area has been submitted to and approved in writing by the local planning authority.

Reason: This is to ensure that the tank does not present any issues of uplifting and that groundwater displacements do not increase flood risk in the vicinity of the development, in accordance with NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policies CC09 and CC10.

7. Travel Plan

No development shall take place until a Travel Plan has been submitted to and approved in writing by the local planning authority. The travel plan shall include a programme of implementation and proposals to promote alternative forms of transport to and from the site, other than by the private car and provide for periodic review. The travel plan shall be fully implemented, maintained and reviewed as so-approved.

Reason: To encourage the use of all travel modes. Relevant policy: NPPF Section 9 and Core Strategy policy CP6.

8. Electric charging details

No development shall take place until details for an Electric Vehicle Charging Strategy serving the development, is submitted to and approved in writing by the Local Planning Authority. This strategy should include details relating to on-site infrastructure and installation of charging points and future proofing of the site.

Reason: To ensure that secure electric vehicle charging facilities are provided so as to encourage the use of sustainable modes of travel.

Relevant policy: NPPF Section 9 and Core Strategy policies CP1, CP3 and CP6 and Managing Development Delivery Local Plan policy CC07 and Appendix 2 and the Council's Parking Standards Study Report (2011).

9. Additional parking details

Prior to the commencement of the development hereby permitted, details of the following shall be submitted to and approved in writing by the local planning authority:

- a) Secure, covered, bicycle parking facilities for at least 20 bikes that is located to provide surveillance and convenient access
- b) Disabled/accessible parking for a total of five vehicles
- c) Barrier access to the main car park to prevent uninvited overnight parking

All parking and access shall be implemented in accordance with such details as may be approved before occupation of the development hereby permitted, and shall be permanently retained in the approved form.

Reason: In the interests of ensuring a safe and secure design, the provision of adequate parking and to ensure the future provision to cater for electric vehicles.

Relevant policy: NPPF Section 15 and Core Strategy policies CP1, CP3 and CP6 and Managing Development Delivery Local Plan Policy CC07.

10. Decentralised Energy Supply

Prior to the commencement of development a scheme for generating 10 % of the predicted energy requirement of the development from decentralised renewable and/or low carbon sources (as defined in the glossary of Planning Policy Statement: Planning and Climate Change (December 2007) or any subsequent version) shall be submitted to and approved in writing by the local planning

authority. The approved scheme shall be implemented before the development is first occupied and shall remain operational for the lifetime of the development.

*Reason: To ensure developments contribute to sustainable development.
Relevant policy: NPPF Section 14 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1, Managing Development Delivery Local Plan policy CC05 & the Sustainable Design and Construction Supplementary Planning Document.*

11. CCTV details

Prior to the commencement of the development hereby permitted, details of closed circuit television shall be submitted to and approved in writing by the local planning authority. The approved scheme shall be implemented prior to the first occupation of the development or phased as agreed in writing by the local planning authority. The scheme shall be maintained in the approved form for so long as the development remains on the site.

*Reason: In the interests of ensuring a safe and secure design.
Relevant policy: NPPF paragraph 127 and Core Strategy policies CP1, CP3.*

12. Surface Water Infrastructure

Prior to the occupation of the development hereby permitted, confirmation is required from Thames Water that either:

- (a) all surface water network upgrades required to accommodate the additional flows from the development have been completed; or
- (b) a housing and infrastructure phasing plan has been agreed with Thames Water to allow additional properties to be occupied.

Where a housing and infrastructure phasing plan is agreed no occupation shall take place other than in accordance with the agreed housing and infrastructure phasing plan. Refer to thameswater.co.uk/preplanning.

Reason - Network reinforcement works are likely to be required to accommodate the proposed development. Any reinforcement works identified will be necessary in order to avoid flooding and/or potential pollution incidents."

13. Lighting Scheme

Prior to the occupation of the development hereby permitted, a report detailing the lighting scheme and how this will not adversely impact upon wildlife shall be submitted to and approved in writing to the local planning authority. The report shall include following figures and appendices:

- a) A layout plan with beam orientation
- b) A schedule of equipment
- c) Measures to avoid glare
- d) An isolux contour map showing light spillage to 1 lux and areas identified as being of importance for commuting and foraging bats

The approved lighting plan shall thereafter be implemented as agreed.

Reason: To limit the impact of light pollution from artificial light on nature conservation in accordance with Paragraph 180 of the NPPF.

14. Biodiversity Improvements

Prior to occupation of the development, four bird or bat boxes, bricks or tiles are to be installed on or around the site under the supervision of a suitably qualified ecologist. A brief letter/report confirming that the boxes, bricks or tiles have been installed including a simple plan showing their location and photographs of the boxes, bricks or tiles in situ is to be submitted and approved in writing by the council.

Reason: To incorporate biodiversity improvements in and around developments in accordance with Paragraph 175 of the NPPF.

15. Materials

The materials to be used in the new building are to be in accordance with those specified on the approval drawings and application form.

Reason: To ensure the appearance of the building is satisfactory. Relevant policy – Core Strategy policies CP1 and CP3.

16. Parking, Loading and Access (As Approved)

The development shall not be occupied until the vehicle parking spaces, loading bay and associated access have been provided in accordance with the approved plans. The vehicle parking spaces shall be permanently maintained and remain available for the parking of vehicles at all times.

Reason: To ensure adequate on-site parking provision in the interests of highway safety, convenience and amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

17. Surfacing

No building shall be occupied until the vehicular access has been surfaced with a permeable and bonded material across the entire width of the access for a distance of 5 metres measured from the carriageway edge.

Reason: To avoid spillage of loose material onto the highway, in the interests of road safety. Relevant policy: Core Strategy policy CP6.

18. Dropped kerb widening

The development shall not be occupied until the vehicular access from the highway has been increased to a width of circa 70 metres (this work will need separate authorisation by the Borough's highway section – see informative Access Construction).

Reason: To allow vehicular access to off-street parking spaces without causing damage to the footway and kerb, and to avoid undue delay in vehicles leaving the highway in the interests of highway safety and convenience. Relevant policy: Core Strategy policies CP3 & CP6.

19. Stopping Access

The existing vehicular access(es) to the site shall be stopped up and abandoned, and the footway and/or verge crossings shall be re-instated within one month of the completion of the new access(es) in accordance with details to be submitted to and approved in writing by the local planning authority.

Reason: In the interests of highway safety and convenience. Relevant policy: Core Strategy policies CP3 & CP6.

20. Permeable Surfacing

The hard surfacing hereby permitted shall be constructed from porous materials or provision shall be made to direct water run-off from the hard surface to a permeable or porous area within the curtilage of the development, and the hard surfacing shall thereafter be so-maintained.

Reason: To prevent increased flood risk from surface water run-off. Relevant policy: NPPF Section 14 (Meeting the Challenge of Climate Change, Flooding and Coastal Change) and Managing Development Delivery Local Plan policies CC09 and CC10

21. Bin Store

The development shall not be occupied until the bin storage facilities have been provided in full accordance with the approved details. The bin storage facilities shall be permanently so-retained and used for no purpose other than the temporary storage of refuse and recyclable materials.

Reason: In the interests of visual and neighbouring amenities and functional development. Relevant policy: Core Strategy CP3 and Managing Development Delivery Local Plan policy CC04.

22. Hours of Work

No works relating to the development hereby approved including works of demolition or preparation prior to building operations, shall take place other than between the hours of 08:00 and 18:00 Monday to Friday and 08:00-13:00 on Saturdays and at no time on Sundays or Public Holidays.

Reason: To protect the occupiers of neighbouring from noise and disturbance outside the permitted hours during the construction period. Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

23. Additional Floorspace

No additional floorspace, including mezzanine floors, shall be constructed within the building/s hereby approved without prior written permission of the local planning authority.

Reason: To prevent an over-development of the site and to ensure adequate parking. Relevant policy: Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07

24. External Storage

No materials, plant, machinery, containers or equipment shall be stored on the site outside buildings except for the waste storage areas shown on the approved drawings.

Reason: In order to safeguard the visual amenities of the area. Relevant policy: Core Strategy policies CP1 and CP3.

25. No amplification

No external sound amplifying equipment shall be installed in or on the premises.

Reason: To safeguard the residential amenities of nearby residents and the area generally from noise and disturbance. Relevant policy: NPPF Section 15, Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

26. Hours of Use

The B1 and B2 uses hereby permitted within the building shall not operate other than between the hours of 08:00-18:00 Mondays to Saturdays 10:00-16:00 Sundays and shall not operate at all on Bank or National Holidays.

Reason: To safeguard residential amenities Relevant policy: Core Strategy policies CP1 and CP3 and Managing Development Delivery Local Plan policy CC06.

Informatives

1. Changes to the Approved Drawings

The applicant is reminded that should there be any change from the approved drawings during the build of the development this may require a fresh planning application if the changes differ materially from the approved details. Non-material changes may be formalised by way of an application under s.96A Town and Country Planning Act 1990.

2. Legal Agreement

This permission should be read in conjunction with the legal agreement under section 106 of the Town and Country Planning Act dated **(TBC)** the obligations in which relate to this development.

3. Pre Commencement Conditions

The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear please contact the case officer to discuss.

4. Thames Water sewers

There are public sewers crossing or close to your development. If you are planning significant work near our sewers, it is important that you minimize the risk of damage. Thames Water will need to check that the development does not limit repair or maintenance activities, or inhibit the services we provide in any other way. The applicant is advised to read the guide working near or diverting our pipes.

5. Additional advertising consent

This permission does not convey or imply any approval or consent that may be required for the display of advertisements on the site for which a separate Advertisement Consent application may be required. You should be aware that the display of advertisements without the necessary consent is a criminal offence liable to criminal prosecution proceedings through the courts.

6. Access Construction

The Head of Highways at the Council Offices, Shute End, Wokingham [0118 9746000] should be contacted for the approval of the access construction details before any work is carried out within the highway (including verges and footways). This planning permission does NOT authorise the construction of such an access or works.

7. Travel Plan

The requisite Travel plan would need to comply with the latest national and local guidance:

- 1) NPPF Section 9 (Sustainable Transport)
- 2) The Essential Guide to Travel Planning (DfT, March 2008)
- 3) Delivering Travel Plans Through the Planning Process (DfT, April 2009)
- 4) A Guide on Travel Plans for Developers (DfT)

- 5) Making Residential Travel Plans Work (DfT, June 2007) All accessible at:
<http://www.dft.gov.uk/pgr/sustainable/travelplans/>
<https://www.gov.uk/government/policies/improving-local-transport>
- 6) WBC Transport Plan 3 and Active Travel Plan 2011 – 2026
- 7) WBC Workplace Travel Plan Guidance and Residential Travel Plan Guidance

8. Discussion

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF.

RECENT PLANNING HISTORY		
Application Number	Proposal	Decision
F/3/1965	Warehouse/offices	Approved
F/7/1965	Warehouse/offices	Approved
F/14/1964 and F/15/1964	Warehouse/offices	Approved 31/12/1964
F/11/1966	Warehouse/offices	Approved 27/10/1966
05083	Change of use of warehouses to light industrial	Approved 27/09/1076
09744	Minor alterations	Refused 05/12/1978
13382	External store for security stock	Approved 05/06/1980
18980	Change of use from B1(c) to B1(a) with alterations to existing elevations	Approved 10/03/1983
34990	Relaxation of Condition 4 of 18980 allowing any business use	Refused 15/03/1990
36466	Relaxation of Condition 4 of 18980 allowing any business use	Approved 24/10/1990
40605	Change of use from B1(c) to B8	Approved 26/04/1993
F/1996/63956	Change of use from B8 to retail with ancillary warehouse and offices	Approved 26/10/1996
F/1996/64213	New warehouse entrance door	Approved 22/10/1996
F/1996/64289	Change of use from B8 to B1(c)	Approved 26/10/1996
A/1997/65212	Two non-illuminated fascia signs	Approved 17/04/1997
F/2007/2689	New canopy and balustrade to front entrance	Approved 18/12/2007
A/2007/2690	Non illuminated replacement sign	Withdrawn 05/02/2008

SUMMARY INFORMATION	
Site Area	0.59 hectares
Existing Floorspace	2630m ²
Proposed Floorspace	7306.99 m ²
Existing Parking Spaces	31 spaces
Proposed Parking Spaces	71 spaces
No. of jobs created/lost	+ 11 FTE

CONSULTATION RESPONSES	
WBC Environmental Health	No objections subject to condition 4 and 22
WBC Drainage	No objections subject to condition 6
WBC Highways	No objections subject to condition 3, 7-9 and 17-20
WBC Ecology	No objections subject to conditions 13 and 14
WBC Landscape and Trees	No objections subject to condition 5
WBC Economic Prosperity and Place	legal agreement
WBC Cleaner and Greener	No comments received
National Grid	No objections
Thames Water	No objections subject to condition 12
South East Water	No objections
Southern Gas Networks	No objections
SSE Power Distribution	No objections
Crime Design Prevention	No objections, subject to conditions 9 and 11
The Environment Agency	No objections
Royal Berkshire Fire and Rescue	No objections

REPRESENTATIONS	
Wokingham Town Council	<p>No objections to the principle of the development however the following should be considered:</p> <ul style="list-style-type: none"> • Trees to be retained • Welcome the line of trees to mask the building from nearby housing • Due consideration to be given to the nearby care home during the building process <p><u>Officer comment:</u> These matters are discussed in 'Landscape and Trees' and 'Neighbour Amenities'.</p>
Ward Members	No comments received
Neighbours	No comments received

APPLICANTS POINTS
<ul style="list-style-type: none"> • The proposed development would make efficient and effective use of the site providing a self-storage facility and industrial units to the surrounding area, providing jobs and business opportunities for smaller businesses and providing redevelopment to the local area.

PLANNING POLICY		
National Policy	NPPF	National Planning Policy Framework
	NPPG	National Planning Policy Guidance

Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP2	Inclusive Communities
	CP3	General Principles for Development
	CP4	Infrastructure Requirements
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP8	Thames Basin Heaths Special Protection Area
	CP9	Scale and Location of Development Proposals
	CP15	Employment Development
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC05	Renewable Energy and Decentralised Energy Networks
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk (from all sources)
	CC10	Sustainable Drainage
	TB11	Core Employment Areas
	TB12	Employment Skills Plan
	TB20	Service Arrangements and Deliveries for Employment and Retail Use
	TB21	Landscape Character
	TB23	Biodiversity and Development
Supplementary Planning Documents (SPD)	BDG	Borough Design Guide
	SDC SPD	Sustainable Design and Construction

PLANNING ISSUES

Description of Development

1. The proposal is for the erection of a building consisting of 1no.self-storage facility (Use Class B8) and 2no. industrial units (Use Classes B1, B2 and B8) with associated hardstanding and soft landscaping following the demolition of existing units at 718 and 720 Millars Business Park.
2. The proposed building will be 77.5m wide, 37.6m deep with a maximum height of 10.5m. A breakdown of the floorspace for each unit is provided in the table below.

Unit 1	Floor space
Ground Floor	1755.07 m2
First Floor	1744.42 m2
Second Floor	2777.70 m2
Total	6277.19m2
Units 2 and 3	Floor space
Unit 2 (GF)	516.02 m2
Unit 3 (GF)	513.78 m2
Total	1029.8 m2
Grand Total	7306.99 m2

3. It includes a total of 71 parking spaces (inclusive of disabled and charging spaces) to the front and rear of the building, three loading bays within the main car park, the removal of the existing access from Molly Millars Lane and widened access from Fishponds Close. There are additional elements including two external bin stores, external cycle storage, landscaping and tree planting and an outdoor seating area.
4. The proposal will result in the net increase of an additional 11 FTE staff members.
5. Unit 1 will operate 24 hours a day, 7 days a week (in terms of access) though the reception area will operate from 08:00 to 20:00, Monday to Friday. Units 2 and/or 3 are proposed to operate between 08:00 and 18:00, Monday to Saturday, and 10:00 to 16:00 on Sunday.

Principle of Development

6. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan (MDD) Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
7. The site is located within a Major Development Location of Wokingham and as such the development would be acceptable subject to the assessment of the impact of the development on the character of the area, existing street scene, and the amenity of the neighbouring occupiers and upon highway safety.
8. Policy CP15 of the Core Strategy allows for the redevelopment, refurbishment or minor extension of buildings in employment use where they are in the settlement limits and where there is no net loss of Class B floor space. The proposal would result in a net increase 4676m² of Class B floor spaces within the boundaries of the Molly Millars Core Employment Area. The proposal is therefore in accordance with Policy CP15 in terms of providing additional employment floor space within the Borough. It is also complemented by sufficient car parking in an accessible location and without any detriment to the character of the area.
9. Further to this Paragraph 80 of the National Planning Policy Framework states that decisions '*should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity taking into account both local business needs and wider opportunities for development*'. The proposal would be in accordance with this requirement.

Character of the Area

10. Policy CP3 of the Core Strategy states that development must be appropriate in terms of its scale, mass layout, built form, height and character of the area and must be of high quality design. Policy TB06 of the MDD Local Plan also states that there should be no significant adverse visual or environmental impact and NR1 of the Borough Design Guide states development should respond to key characteristics and features of the site. NR2-NR12 are also applicable in terms of ensuring a positive entrance, presentation, car park layout, boundary treatments and servicing and appropriate height, roof form and materials that are compatible with the area.

11. The site is located within the Fishponds Road Industrial Estate and faces onto Molly Millars Lane. The site is surrounded by various office building and industrial units of varying height and scale. Several of the office buildings within the industrial estate have been granted Prior Approval for the conversion into residential units. There is a nursing home at the boundary with the site.
12. The proposed building will be a portal frame type construction with a maximum haunch height of (10.5 metres), which is an increase of 5.5m. The unit will provide three storeys of self-storage with a reception and amenity area located and ground with two industrial units. The proposed building will be set back from Molly Millars Lane and will provide a buffer of landscaping between the main road and hardscaping.
13. The proposed building will feature a mix palette of materials including glazing which are satisfactory and secured by condition 15.
14. Due to the proposed building's location within the Core Employment Area, the sufficient separation distances and the proposed vegetation along the western boundary, the height of the proposed at 10.5m would not be unduly excessive nor would it adversely detract from the character of the existing industrial estate. On this basis the height of the building is considered to be acceptable.
15. The proposal achieves a contemporary design, built form and appearance that does not adversely detract from the character of the existing industrial estate. It achieves a substantial increase in employment floorspace in a measured manner that is not inconsistent with the desired or likely future character of the area. In this respect, it is acceptable in terms of CP3 and the BDG and no objection is raised.
16. Condition 24 does not allow any additional external storage and this is imposed to protect the character of the streetscene, particularly because of its prominent corner location.

Design and Security

17. Policies CP1 and CP3 aim to provide secure and safe designs and paragraph 127 of the NPPF aims to ensure that developments... create places that are safe, inclusive and accessible... and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.
18. The Crime Prevention Design Advisor at Thames Valley Police was consulted and provided the following concerns:
 - The car park is susceptible to overnight parking because the self-storage unit is open 24 hours
 - There are no CCTV details
 - The cycle storage is poorly located due to lack of surveillance and proximity to the road
19. All of the above concerns are valid in terms of ensuring that the development is safe and secure, particularly when a 24 hour use is proposed. On this basis, Conditions 9 and 11 have been applied with further details required.

Residential Amenities

20. Policy CP3 of the Core Strategy aims to protect neighbouring amenity and Policy TB20 of the MDD Plan requires that there be no harmful impact on the amenity of adjoining land uses in terms of noise, fumes and disturbance.
21. Given the corner location and the orientation of the building in relation to the neighbouring buildings within the industrial business estate the proposed building will not have a harmful impact on the outlook/amount of light towards the occupiers of these neighbouring buildings.
22. The neighbouring site to the application site at the NW boundary is a nursing home (Alexandra Grange House). Due to the sufficient separation distance of 6.7m (at the narrowest point) to 12.1m (widest point) between the proposed building and the nursing home it is considered it will not have a detrimental impact on the residential amenities in terms of overbearing or loss of light.
23. The proposal will include an external seating area west of the site, this is expected to be used by staff during standard business hours therefore no objections are raised in terms of there being a detrimental impact upon the amenities of the residents at the nursing home.
24. A noise assessment has been submitted with the application and the site is unlikely to generate significant noise as there will be no external plant, no HGV's or forklifts on the site. The Noise Assessment submitted concludes that there will be no adverse noise impact on the neighbouring care home or residential homes opposite and given the level of background noise associated with the existing Molly Millars Industrial Estate, there are no objections raised by the Council's Environmental Health Officer. It takes account of the hours of use as specified in proposed, including 24 hour operation of the self-storage unit and no objection is raised in relation to the hours of operation. Nonetheless, Condition 25 prohibits any external amplification and Condition 26 outlines hours of use for any future occupation because of the location of the site on the residential interface to the west.
25. There is also no perceived concern with light spill to neighbouring properties because of separation and tree coverage and its location within the core employment area.

Access and Movement:

Car Parking

26. Policy CC07 and Appendix 2 of the MDD Local Plan stipulates minimum off street parking standards.
27. The proposal will provide 71 car parking spaces which will meet the Council's Parking Standards for Class B1 and B8 uses and is deemed to be acceptable by the Council's Highways Officer.
28. Of these spaces, four of the spaces (5.6%) are assigned as electric charging bays, which is considered as a positive starting point in the absence of any policy guidance. Three spaces (4.2%) are assigned as disabled spaces, which is a shortfall of two spaces but Condition 9 requires the provision of five spaces in total in revised details prior to the commencement of development. This is achievable at the rear of the property as shared space with the pedestrian access.

29. Condition 23 does not allow any additional internal floorspace via the GPDO and this is imposed to ensure that there is no further car parking shortfall.

Cycle Parking

30. Policy CC07 and Appendix 2 of the MDD Local Plan stipulates minimum cycle parking standards. One space is required per 150m²-200m² of floorspace depending upon the Class B Use, which equates to a total of 37 spaces.

31. Given the expanse of Class B8 floorspace, the limited number of day to day visitors and the ability to provide more secure storage within the building, there is no objection to a reduced cycle parking provision of 20 spaces. The proposed cycle storage is in close proximity to Fishponds Road and the Crime Design Prevention Officer has raised concerns on this. Subject to additional details in Condition 9 which would seek a relocated cycle storage area, no objection is raised.

Access

32. An existing entrance on Molly Millars Lane will be removed and Condition 19 requires the stopping up of this access. The existing access from Fishponds Road will be widened and this is outlined in Condition 18. The access arrangements onto Fishponds Road are to the satisfaction of the Council's Highways Officer, with adequate splays and turning. Swept paths have also been provided which demonstrate adequate manoeuvrability within the site for a 10.5m articulated vehicle. This is also satisfactory. Pedestrian access within the site is shared within the carpark but this is a reasonable arrangement and no objection is raised.

Site sustainability

Flooding and Drainage

33. Section 10 of the NPPF, Policy CP1 of the Core Strategy and Policies CC09 and CC10 of the MDD requires flooding protection, sustainable drainage methods and the minimisation of surface water flow.

34. Part of the development site close to Molly Millars Lane, is within Flood Zone 2. The proposal is a less vulnerable use in flood zone 2 and no objections have been raised by The Environment Agency or the Council's Drainage Officer on this aspect.

35. Details of the groundwater levels in the area are to be secured via planning condition 6 at the request of the Council's Drainage Officer.

Landscape and Trees

36. Policy CC03 of the MDD Local aims to protect green infrastructure networks, retain existing trees and establish appropriate landscaping and Policy TB21 requires consideration of the landscape character.

37. The Arboricultural Implications Assessment (AIA) recommends the removal of Trees labelled - T1, G1, G2, due to poor health and T10, T11 and H1 as they conflict with the scheme.

38. The landscape Proposals Plan includes 11.No new trees distributed between the NW, SE, and SW boundaries. Native hedging and shrub planting is also proposed which is acceptable.
39. In order to enable the proposed building to blend into the street scene, the Council's Landscape Officer has stated that the NE frontage adjacent to Molly Millars Lane requires additional tree planting. The species proposed *Carpinus betulus* 'Frans Fontaine' reach 2.5m x 9m after 25 years and there is scope along the 80m frontage to introduce a taller fastigiate species and a greater number of trees, thus allowing a wider space in the centre so as not to screen the main building signage and the totem. Mixing the species whilst using the fastigiate form would add diversity and interest whilst retaining a similar outline. Doubling the number of trees either side of the totem would be preferable and this can be secured via a planning condition 5. Subject to this arrangement, no objection is raised.

Contaminated Land

40. The application site lies directly on top of an area of filled ground and immediately adjacent to another site which has a higher potential for migrating landfill gases. Further, surrounding historic contaminative land uses include a former brickworks, a sewage works and petrol station
41. A preliminary assessment has been carried out by the applicant to determine the probability of contamination at the site. The assessment makes a recommendation for a Phase II ground investigation to confirm the initial recommendations outlined in the report. This includes:
- A window sampling investigation to confirm ground conditions, install gas and groundwater monitoring installations and collect soil samples for analysis
 - Chemical analysis of soils followed by risk assessment so that the risk to human health and controlled waters can be determined and to assess the suitability of the soils for re-use in the development
 - Geo-technical and geochemical soils testing of the founding strata to assess strength and suitable grade(s) of buried concrete
 - Four gas and groundwater monitoring visits to be undertaken over a minimum period of two months to assess the risk posed by ground gas.
42. The Council's Environmental Health Officer is satisfied with this approach and this is secured by Condition 4.

Ecology

43. Policy TB23 of the MDD required the incorporation of new biodiversity features, buffers between habitats and species of importance and integration with the wider greener infrastructure network.
44. The application site comprises two commercial building units surrounded by hardstanding and small amounts of improved amenity grassland, semi-improved grassland, scattered trees and scrub. Part of the site is located in habitat which matches that where bat roosts have previously been found in the borough.
45. The ecology report (The Ecology Consultancy May 2020) details of a preliminarily ecological appraisal, a preliminarily bat roost assessment and a subsequent bat emergence survey. The report concludes that the buildings are unlikely to host roosting bats, however there was bat activity around the site and as such the report

recommends that any new external lighting strategy be designed to ensure bats (and other wildlife) are not adversely affected. The Council's Ecology Officer agrees with this approach and details of a lighting scheme are to be secured via planning condition 13.

46. The report further states that the semi-improved grassland, scattered trees and scrub areas could be used by badgers, common reptiles, nesting birds and recommends that precautionary methods be followed during construction due to the limited extent of these habitats and the urban nature of the surrounding area it is considered that the risks of harming wildlife is very low.
47. The submitted landscape plan shows that the native hedgerow and grassland will be incorporated into the landscaping. In addition to this and in accordance with paragraph 175 of the NPPF which states '*opportunities to incorporate biodiversity in and around development should be encouraged*' a condition should be set to ensure that bird and bat boxes are provided on and around the development. This outlined in Condition 14.

Employment Skills

48. Policy TB21 of the MDD Local Plan states proposals for major development should be accompanied by an Employment Skills Plan to show how the development would provide opportunities for training, apprenticeship or other vocational initiatives to develop local employability skills required by developers, contractors or end users of the proposal. This would be secured via a Section 106 Agreement.

Sustainable Construction

49. Policy CP1 of the Core Strategy and the Council's Sustainable Design and Construction SPD requires proposals to maintain or enhance the high quality of the environment though contribution towards sustainable development.
50. In line with these requirements the proposed development incorporates the following sustainability measures which are considered acceptable subject to Building Regulations:
- a) PV Panels Minimum 30KW systems
 - b) High efficiency LED lighting
 - c) Enhanced building fabric (U-Values above the targets set out by Building Regulations Standards)
 - d) Air permeability (above the targets set out by Building Regulations Standards)
 - e) No gas connection
 - f) Minimum of 2 electric charge points installed on each site as standard
51. The measures proposed are considered suitable and appropriate for the site subject to the approval of Building Control.
52. Furthermore, Policy CC05 of the MDD Local Plan encourages renewable energy and decentralised energy networks, with encouragement of decentralised energy systems and a minimum 10% reduction in carbon emissions for developments in excess of 1000m². This is applicable in this case and in addition to the above sustainability measures, is applied by condition 10.

Waste Storage

53. Policy CC04 of the MDD Local Plan requires adequate storage for the segregation and waste. Two bin stores are located at the rear of the building on Fishponds Close, which are sufficiently sized. Collection is achievable via Fishponds Close without concern.

Thames Basin Heaths Special Protection Area

54. Policy CP8 of the Core Strategy states that where development is likely to have an effect on the Thames Basin Heaths Special Protection Area (TBH SPA), it is required to demonstrate that adequate measures to avoid and mitigate any potential adverse effects are delivered. The subject property is located within 7km of the TBH SPA but the works would not constitute any additional harm and no mitigation is required.

Community Infrastructure Levy

55. Being a commercial development, the application is not liable for CIL payments

The Public Sector Equality Duty (Equality Act 2010)

56. In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

57. The proposal will include level pedestrian access and a passenger lift to ensure full accessibility to all floors throughout the building.

CONCLUSION

58. The proposal will create additional Class B1/B2/B8 floorspace which is appropriate in the context of the surrounding built form and includes acceptable provision for parking and access. The proposal would not have a harmful impact on the character and appearance of the wider area and the nearby residential properties.

59. No harmful impact would occur in regards to drainage, landscape and trees and environmental health therefore it is recommended that the application is approved subject to securing an Employment Skills Plan via legal agreement and the conditions included in this report.

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Hazard Identification		
ref	hazard	date



Alexandra Grange (Nursing Home)

Colebrook House

Whitton House

Warehouse

Proposed Building Footprint
0.29 hectare
0.73 acres

Proposed Site
0.59 hectare
1.46 acres

Floor Schedule Existing			
Type	Type Mark	Area	Percentage
C4-FLO-006 Landscaping	FLO-006	0.34 acres	23%
C4-FLO-002 Concrete Service Yard	FLO-002	0.20 acres	14%
C4-FLO-001 Generic Building Floor	FLO-001	0.85 acres	44%
C4-FLO-004 Tarmac Pedestrian	FLO-004	0.03 acres	2%
C4-FLO-003 Tarmac Road	FLO-003	0.25 acres	17%
Grand total:	5	1.46 acres	100%

Existing Parking Schedule				
Unit Reference	Type Mark	Type	Description	Count
PAR-002	R2400x1200x4800mm	Disabled parking bay		3
PAR-001A	2400x4800mm	Standard car parking bay		21
PAR-001	2500x5300mm	Standard car parking bay		7
TOTAL				31

Property Schedule			
Name	Acres	Area m ²	Density
Site	1.46 acres	5912.39 m ²	67%
Building Footprint	0.73 acres	2941.68 m ²	33%
Grand total:	2		

P4	Issued for Planning	AG	26.05.20	NR
P3	Issued for Information	AG	11.05.20	NR
P2	Issued for Pre-application	AG	19.12.19	NR
P1	Issued for information	AG	06.11.19	

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Client
SureStore Consultants Ltd

Project
Retail Development
Fishponds Road, Wokingham

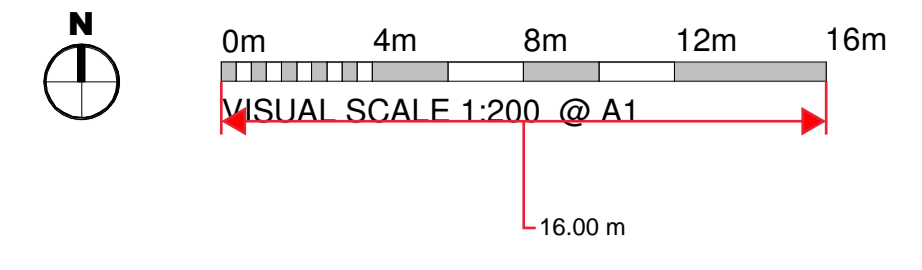
Drawing Title
Site Plan as Existing

Status Purpose of Issue
S2 SUITABLE FOR INFORMATION

Drawn by AG Created 06.11.19
C4 Job no. 19055 Scale 1:250 @ A1

Dwg no. 19055-C4P-AV-00-DR-A-0101 Rev P4

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Hazard Identification		
ref	hazard	date

Parking Schedule		
Type Mark	Description	Count
SureStore		
A	Standard car parking bay	36
B	Disabled parking bay	1
C	Electric Charging Bay	4
Unit 2		
A	Standard car parking bay	14
B	Disabled parking bay	15
Unit 3		
A	Standard car parking bay	14
B	Disabled parking bay	15
TOTAL		71

Area Schedule (GEA)				
Level	Name	Metric	Area	
			Metric	Imperial
Stair 1				
Level 0	Stair 1	23.64 m ²	254 ft ²	
Level 1	Stair 1	23.64 m ²	254 ft ²	
Level 2	Stair 1	23.64 m ²	254 ft ²	
		70.91 m ²	763 ft ²	
Unit 1				
Level 0	Unit 1 - GEA	1,836.39 m ²	19,767 ft ²	
Level 1	Unit 1 - GEA	1,836.39 m ²	19,767 ft ²	
Level 2	Unit 1 - GEA	2,917.78 m ²	31,407 ft ²	
		6,590.57 m ²	70,940 ft ²	
Unit 2				
Level 0	Unit 2 - GEA	537.68 m ²	5,788 ft ²	
		537.68 m ²	5,788 ft ²	
Unit 3				
Level 0	Unit 3 - GEA	543.70 m ²	5,892 ft ²	
TOTAL: 8		7,742.87 m ²	83,944 ft ²	

Area Schedule (GIA)				
Level	Name	Metric	Area	
			Metric	Imperial
Stair 1				
Level 0	Stair 1 - GIA	17.29 m ²	186 ft ²	
Level 1	Stair 1 - GIA	17.29 m ²	186 ft ²	
Level 2	Stair 1 - GIA	17.29 m ²	186 ft ²	
		51.86 m ²	558 ft ²	
Unit 1				
Level 0	Unit 1 - GIA	1,788.47 m ²	19,251 ft ²	
Level 1	Unit 1 - GIA	1,789.10 m ²	19,258 ft ²	
Level 2	Unit 1 - GIA	2,846.74 m ²	30,642 ft ²	
		6,424.31 m ²	69,151 ft ²	
Unit 2				
Level 0	Unit 2 - GIA	517.72 m ²	5,573 ft ²	
		517.72 m ²	5,573 ft ²	
Unit 3				
Level 0	Unit 3 - GIA	517.72 m ²	5,573 ft ²	
		517.72 m ²	5,573 ft ²	
TOTAL: 8		7,511.82 m ²	80,854 ft ²	

Note:
 Refer to Smeeden Foreman Ltd landscaping scheme for landscaping details drawing: SF 3063 LL01
 Refer to engineers design and details for external levels and build ups.

P6	Additional parking bays added inline with planning comments	AG	10.08.20	NR
P5	Issued for Tender	AG	15.06.20	NR
P4	Issued for Planning	AG	26.05.20	NR
P3	Issued for Information	AG	11.05.20	NR
P2	GEA added for all units	AG	03.12.19	NR
P1	Unit 2 & 3 increased to 14m	MK	07.11.19	AG
Rev	Revision Details	Drawn	Date	Checked

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Client
 IPIF c/o LGIM

Project
 Self Storage Development
 Molly Millars Lane, Wokingham

Drawing Title
 Site Plan as Proposed

Status Purpose of Issue
S2 SUITABLE FOR INFORMATION

Drawn by AG **Created** 07.11.19

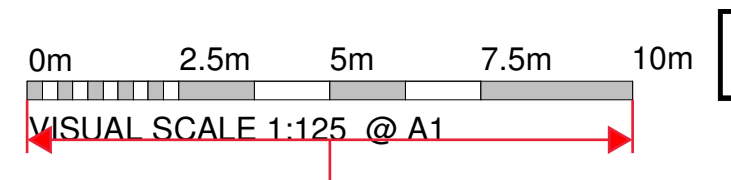
C4 Job no. 19055 **Scale** 1:200 **@** A1

Dwg no. 19055-C4P-AV-00-DR-A-0500 **Rev** P6



05-00 Site Plan as Proposed
 1:200

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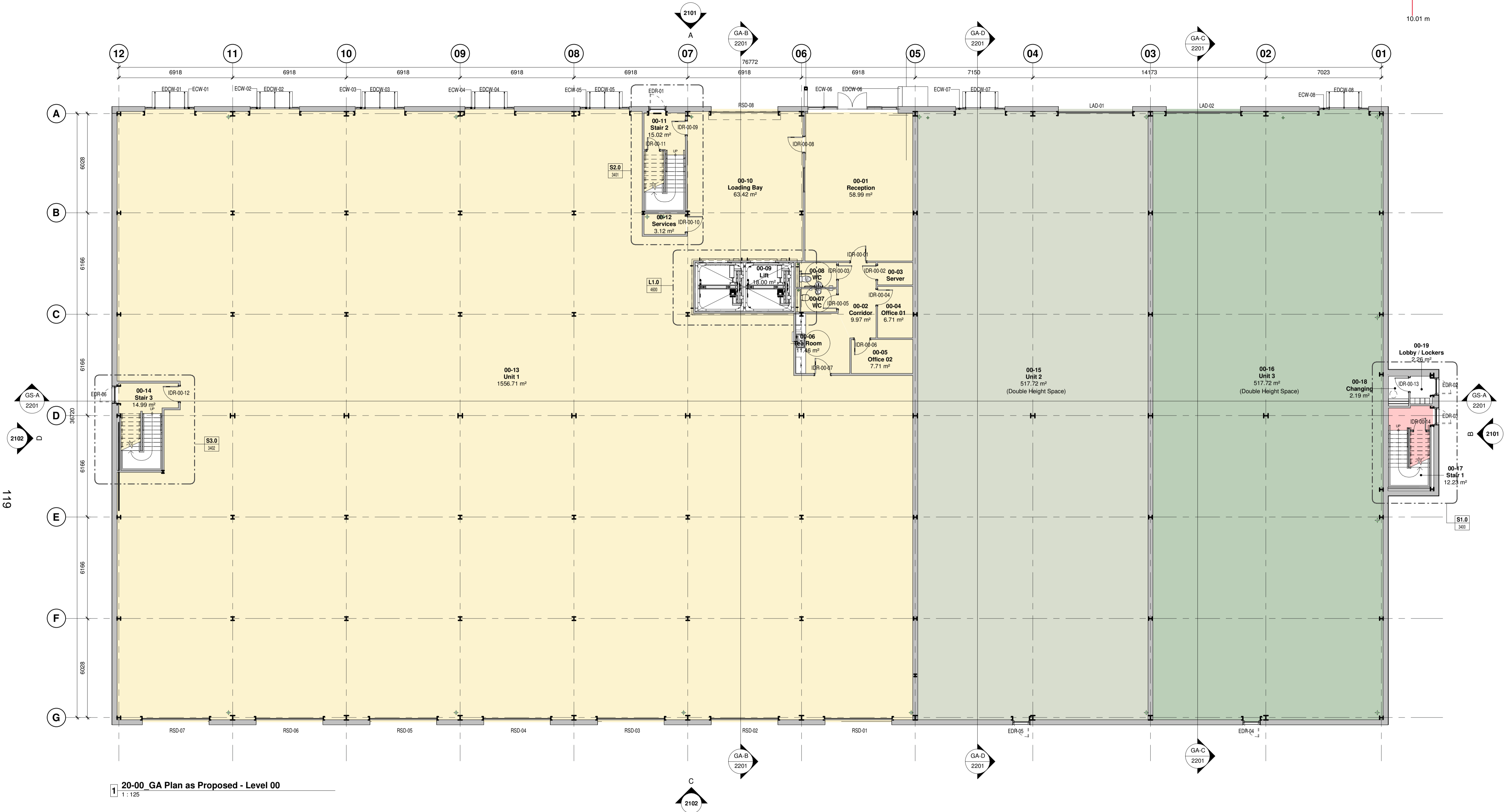
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Hazard Identification		
ref	hazard	date



1 20-00 GA Plan as Proposed - Level 00
1:125

Key

- Stair 1
- Unit 1
- Unit 2
- Unit 3

Area Schedule (GEA)				
Level	Name	Area		
		Metric	Imperial	
Stair 1	Stair 1	23.64 m ²	254 ft ²	
	Stair 1	23.64 m ²	254 ft ²	
	Stair 1	23.64 m ²	254 ft ²	
		70.91 m ²	763 ft ²	
Unit 1	Unit 1 - GEA	1,836.39 m ²	19,767 ft ²	
	Unit 1 - GEA	1,836.39 m ²	19,767 ft ²	
	Unit 1 - GEA	2,917.78 m ²	31,407 ft ²	
		6,590.57 m ²	70,940 ft ²	
Unit 2	Unit 2 - GEA	537.68 m ²	5,788 ft ²	
		537.68 m ²	5,788 ft ²	
Unit 3	Unit 3 - GEA	543.70 m ²	5,852 ft ²	
		543.70 m ²	5,852 ft ²	
TOTAL: 8		7,742.87 m ²	83,344 ft ²	

Area Schedule (GIA)				
Level	Name	Area		
		Metric	Imperial	
Stair 1	Stair 1 - GIA	17.29 m ²	186 ft ²	
	Stair 1 - GIA	17.29 m ²	186 ft ²	
	Stair 1 - GIA	17.29 m ²	186 ft ²	
		51.86 m ²	558 ft ²	
Unit 1	Unit 1 - GIA	1,788.47 m ²	19,251 ft ²	
	Unit 1 - GIA	1,789.10 m ²	19,258 ft ²	
	Unit 1 - GIA	2,946.74 m ²	31,642 ft ²	
		6,424.31 m ²	69,151 ft ²	
Unit 2	Unit 2 - GIA	517.72 m ²	5,573 ft ²	
		517.72 m ²	5,573 ft ²	
Unit 3	Unit 3 - GIA	517.72 m ²	5,573 ft ²	
		517.72 m ²	5,573 ft ²	
TOTAL: 8		7,511.62 m ²	80,854 ft ²	

Room Internal Area Schedule - Level 00				
Number	Name	Areas		
		Metric	Imperial	
00-01	Reception	58.99 m ²	635 ft ²	
00-02	Corridor	9.97 m ²	107 ft ²	
00-03	Server	2.90 m ²	31 ft ²	
00-04	Office 01	6.71 m ²	72 ft ²	
00-05	Office 02	7.71 m ²	83 ft ²	
00-06	Tea Room	11.46 m ²	123 ft ²	
00-07	WC	3.48 m ²	37 ft ²	
00-08	WC	3.74 m ²	40 ft ²	
00-09	Lift	18.00 m ²	194 ft ²	
00-10	Loading Bay	63.42 m ²	683 ft ²	
00-11	Stair 2	15.02 m ²	162 ft ²	
00-12	Services	3.12 m ²	34 ft ²	
00-13	Unit 1	1,556.71 m ²	16,756 ft ²	
00-14	Stair 3	14.99 m ²	161 ft ²	
00-15	Unit 2	517.72 m ²	5,573 ft ²	
00-16	Unit 3	517.72 m ²	5,573 ft ²	
00-17	Stair 1	12.23 m ²	132 ft ²	
00-18	Changing	2.19 m ²	24 ft ²	
00-19	Lobby / Lockers	2.26 m ²	24 ft ²	
19		2,828.35 m ²	30,444 ft ²	

P4	Issued for Planning	AG	21.08.20	XX
P3	Issued for Tender	JC	15.06.20	NR
P2	Issued for Planning	AG	26.05.20	NR
P1	First Issue of Drawing	AG	11.05.20	AG
Rev	Revision Details	Drawn	Date	Checked

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Project
Self Storage Development
Molly Millars Lane, Wokingham

Drawing Title
General Arrangement Plan - Level 00

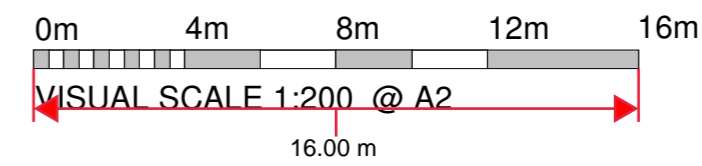
Status Purpose of Issue
S2 SUITABLE FOR INFORMATION

Drawn by AG Created 04.02.20

C4 Job no. 19055 Scale 1:125 @ A1

Dwg no. 19055-C4P-V1-00-DR-A-2000 Rev P4

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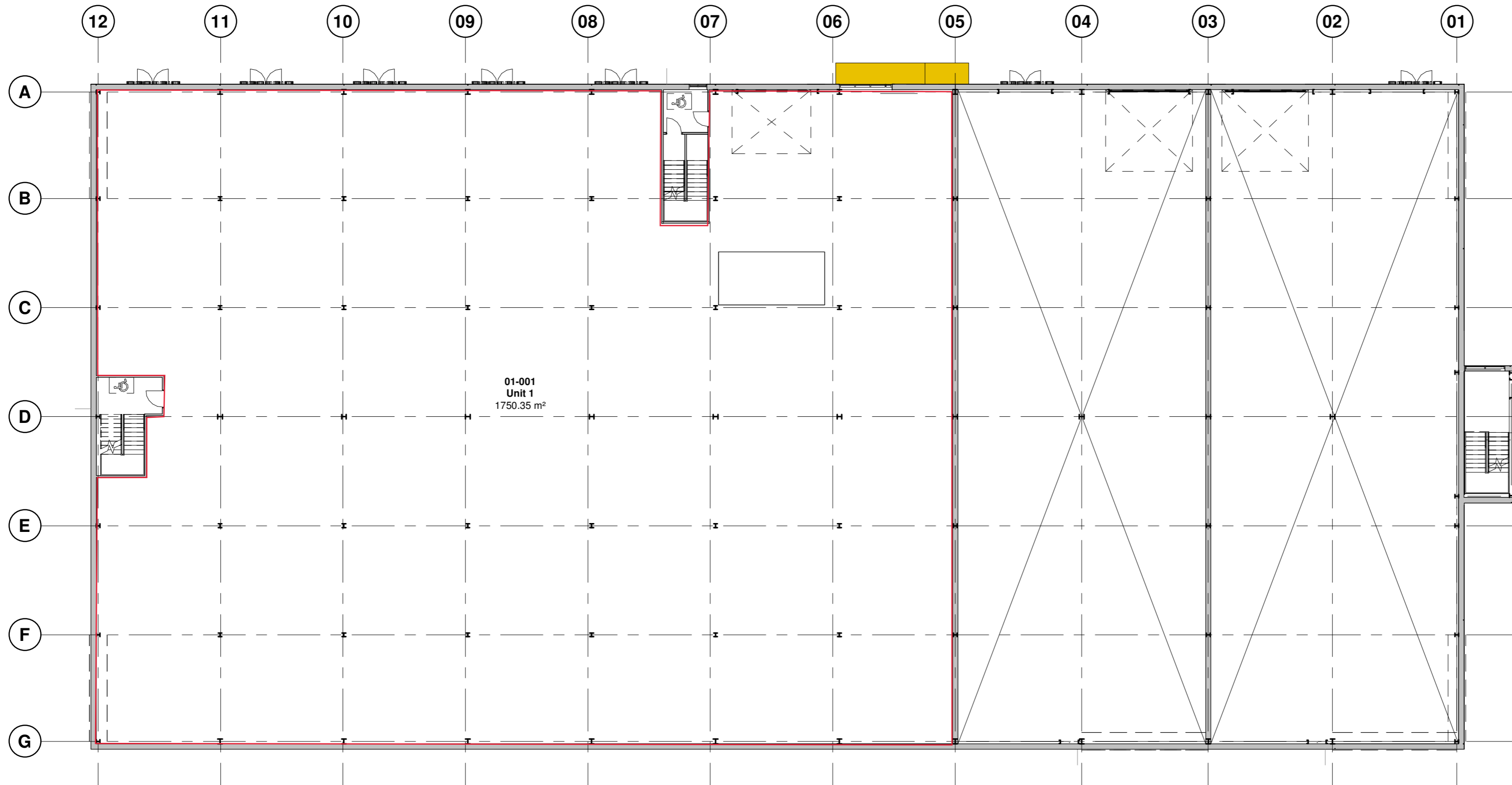
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Hazard Identification		
ref	hazard	date



Area Schedule (GEA)			
Number	Name	Area	
		Metric	Imperial
Level 0			
3	Level 00 - GEA	2,940.56 m ²	31,652 ft ²
1		2,940.56 m ²	31,652 ft ²
Level 1			
4	Level 01 - GEA	1,885.88 m ²	20,299 ft ²
1		1,885.88 m ²	20,299 ft ²
Level 2			
5	Level 02 - GEA	2,911.02 m ²	31,334 ft ²
1		2,911.02 m ²	31,334 ft ²
Grand total: 3		7,737.46 m ²	83,285 ft ²

Area Schedule (GIA)			
Number	Name	Area	
		Metric	Imperial
Level 0			
3	Unit 1 - Level 00	1,789.09 m ²	19,258 ft ²
4	Unit 2 - Level 00	517.72 m ²	5,573 ft ²
5	Unit 3 - Level 00	517.72 m ²	5,573 ft ²
3		2,824.54 m ²	30,403 ft ²
Level 1			
6	Unit 1 - Level 01	1,789.10 m ²	19,258 ft ²
1		1,789.10 m ²	19,258 ft ²
Level 2			
7	Unit 1 - Level 02	2,846.74 m ²	30,642 ft ²
1		2,846.74 m ²	30,642 ft ²
Grand total: 5		7,460.38 m ²	80,303 ft ²

P2	Issued for Planning	AG	26.05.20	NR
P1	First Issue of Drawing	AG	11.05.20	XX

Rev	Revision Details	Drawn	Date	Checked

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Client
SureStore Consultants Ltd

Project
Self Storage Development
Fishponds Road, Wokingham

Drawing Title
Proposed General Arrangement - Level 01

Status Purpose of Issue
S2 SUITABLE FOR INFORMATION

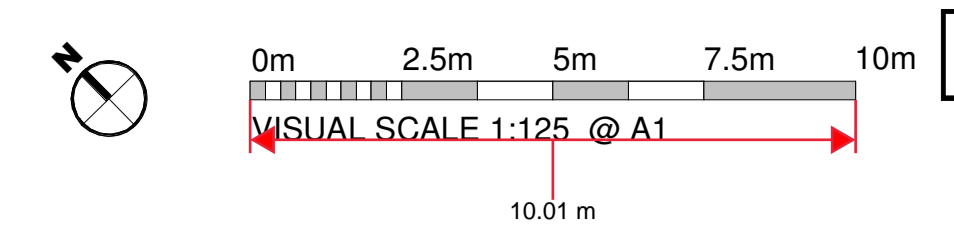
Drawn by	AG	Created	07.05.20
C4 Job no.	19055	Scale	1 : 200 @ A2

Drg no.	19055-C4P-V1-01-DR-A-2001	Rev	P2
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1 Proposed General Arrangement - Level 01
1 : 200

121

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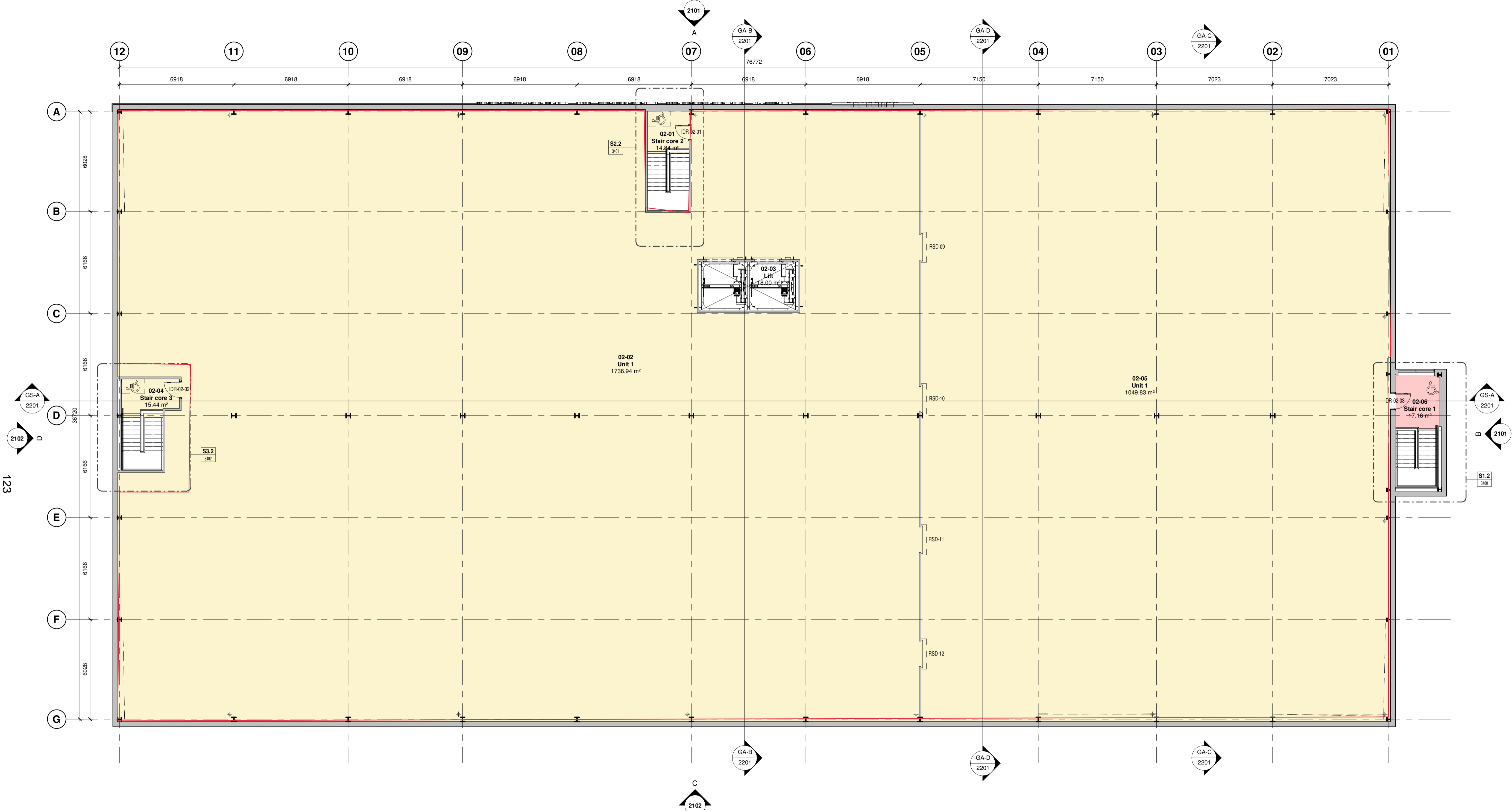
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Hazard Identification		
ref	hazard	date



1 Proposed General Arrangement - Level 02
 1:125

Key

Stair 1
 Unit 1

Area Schedule (GEA)				
Level	Name	Area		
		Metric	Imperial	
Level 0	Stair 1	23.64 m²	254 ft²	
Level 1	Stair 1	23.64 m²	254 ft²	
Level 2	Stair 1	23.64 m²	254 ft²	
		70.91 m²	763 ft²	
Level 0	Unit 1 - GEA	1,836.39 m²	19,767 ft²	
Level 1	Unit 1 - GEA	1,836.39 m²	19,767 ft²	
Level 2	Unit 1 - GEA	2,917.78 m²	31,407 ft²	
		6,590.57 m²	70,940 ft²	
Level 0	Unit 2 - GEA	537.68 m²	5,788 ft²	
		537.68 m²	5,788 ft²	
Level 0	Unit 3 - GEA	543.70 m²	5,852 ft²	
		543.70 m²	5,852 ft²	
TOTAL: 8		7,742.87 m²	83,344 ft²	

Area Schedule (GIA)				
Level	Name	Area		
		Metric	Imperial	
Level 0	Stair 1 - GIA	17.29 m²	186 ft²	
Level 1	Stair 1 - GIA	17.29 m²	186 ft²	
Level 2	Stair 1 - GIA	17.29 m²	186 ft²	
		51.86 m²	558 ft²	
Level 0	Unit 1 - GIA	1,788.47 m²	19,251 ft²	
Level 1	Unit 1 - GIA	1,789.10 m²	19,258 ft²	
Level 2	Unit 1 - GIA	2,946.74 m²	30,542 ft²	
		6,424.31 m²	69,151 ft²	
Level 0	Unit 2 - GIA	517.72 m²	5,573 ft²	
		517.72 m²	5,573 ft²	
Level 0	Unit 3 - GIA	517.72 m²	5,573 ft²	
		517.72 m²	5,573 ft²	
TOTAL: 8		7,511.62 m²	80,854 ft²	

Room Internal Area Schedule - Level 02				
Number	Name	Area		
		Metric	Imperial	
Level 2	Stair core 2	14.84 m²	160 ft²	
02-01	Unit 1	1,736.94 m²	18,696 ft²	
02-03	Lift	18.00 m²	194 ft²	
02-04	Stair core 3	15.44 m²	166 ft²	
02-05	Unit 1	1,049.83 m²	11,300 ft²	
02-06	Stair core 1	17.16 m²	185 ft²	
6		2,852.21 m²	30,701 ft²	

P4	Issued for Planning	AG	21.08.20	XX
P3	Issued for Tender	JC	15.06.20	NR
P2	Issued for Planning	AG	26.05.20	NR
P1	First Issue of Drawing	AG	11.05.20	AG
Rev	Revision Details	Drawn	Date	Checked

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Project
 Self Storage Development
 Molly Millars Lane, Wokingham

Drawing Title
 General Arrangement Plan - Level 02

Status Purpose of Issue
S2 SUITABLE FOR INFORMATION

Drawn by AG Created 07.05.20

C4 Job no. 19055 Scale 1:125 @ A1

Dwg no. 19055-C4P-V1-02-DR-A-2002 Rev P4

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0m 4m 8m 12m 16m
VISUAL SCALE 1:200 @ A1

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Hazard Identification		
ref	hazard	date

NOTES:
LOADINGS FOR ROOF SHOULD TAKE INTO ACCOUNT 50KWH OF SOLAR MODULES TO BE INSTALLED BY OCCUPIER
NO ROOF LIGHTS REQUIRED
NUMBER AND SIZE OF DOWNPIPES TO BE CALCULATED BY CLADDING CONTRACTOR
MANSAFE TO ROOF TO SPECIALIST CONTRACTORS DEISGN AND DETAILS.

P2	Issued for Planning	AG	26.05.20	NR
P1	First Issue of Drawing	AG	11.05.20	XX
Rev	Revision Details	Drawn	Date	Checked



Quayside,
Wilderspool Business Park,
Stockton Heath,
WA4 6HL
t: 01925 751 852
e: info@c4projects.co.uk
www.c4projects.co.uk

Project Management • Architecture • Building Surveying • Cost Consultancy

Client
SureStore Consultants Ltd

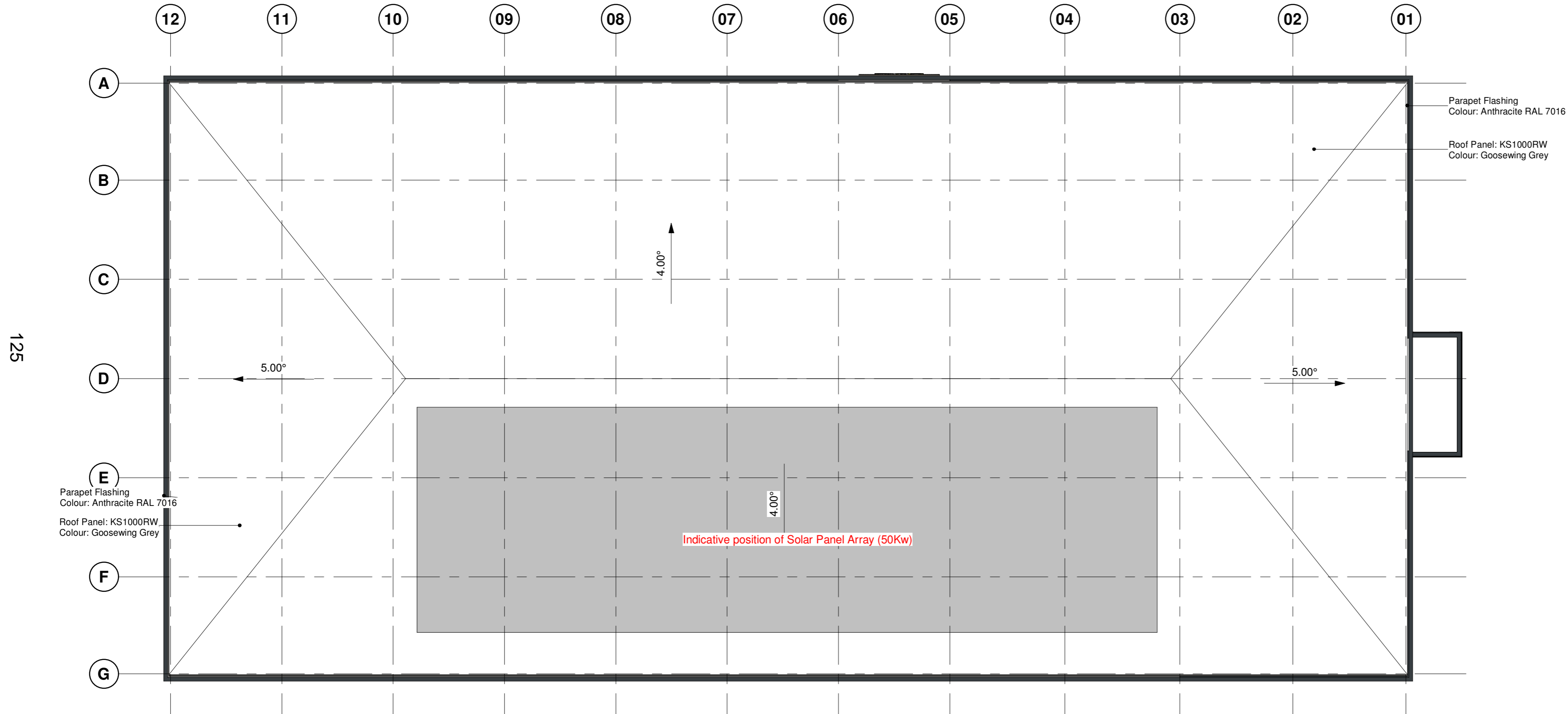
Project
Self Storage Development
Fishponds Road, Wokingham

Drawing Title
Roof Plan

Status Purpose of Issue
S2 SUITABLE FOR INFORMATION

Drawn by	AG	Created	07.05.20
C4 Job no.	19055	Scale	1 : 200 @ A2

Drg no.	19055-C4P-V1-R1-DR-A-3300	Rev	P2
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1 Proposed Roof Plan
1 : 200

125

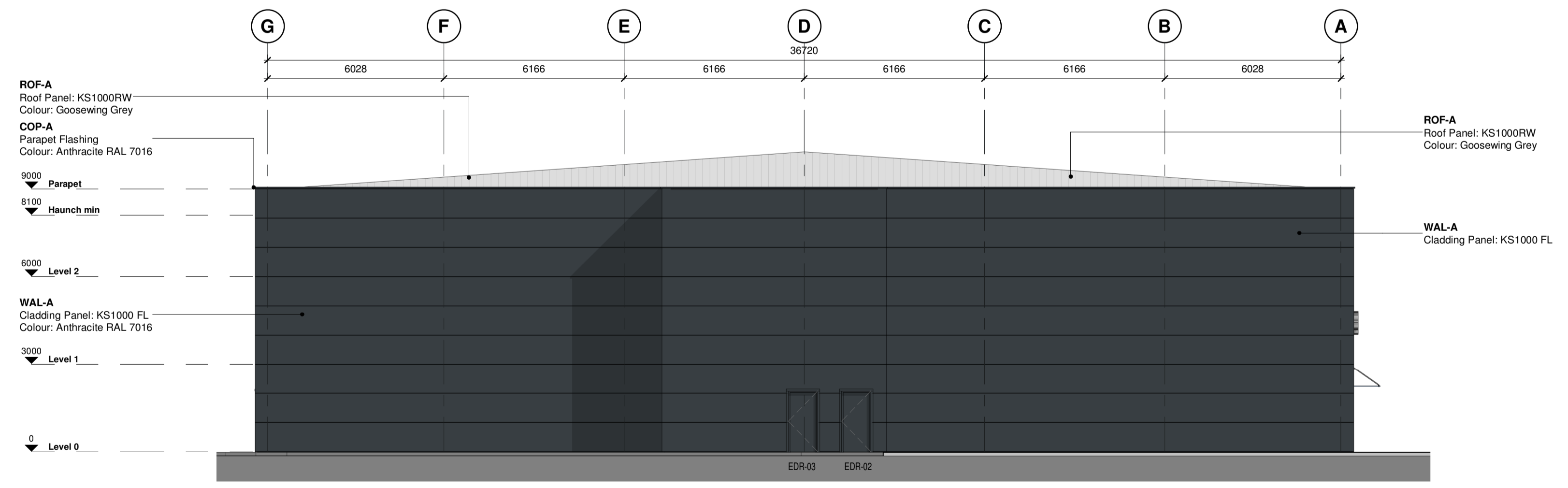
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Hazard Identification		
ref	hazard	date



A Elevation A - Molly Millars Lane
1 : 125

127



B Elevation B - Fishponds Road
1 : 125

U-VALUES, AIR PERMEABILITY & TESTING

U-VALUES

Please refer to BRUKL calculations for further information

Calculate area-weighted average U-values

External Walls	0.26 W/m ² K
Ground Floor	0.22 W/m ² K
Roof	0.18 W/m ² K
External Personnel Doors	2.2 W/m ² K
Windows	1.6 W/m ² K
Curtain Wall	1.6 W/m ² K
Roller Shutters	1.6 W/m ² K

AIR PERMEABILITY AND PRESSURE TESTING

Reasonable provision shall be made to ensure the building is constructed to minimise unwanted air leakage through the new building fabric.

The measured air permeability to be in compliance with the Target CO2 Emission Rate (TER) design limits.

Air Permeability 5 m³/(h.m²) @ 50 Pa

All buildings above 500 m² of total useful floor area must be subject to pressure testing

ADDITIONAL NOTES:

Only **non-combustible** materials are to be used on the building envelope

P4	Issued for Planning	AG	21.08.20	XX
P3	Issued for Tender	JC	15.06.20	NR
P2	Issued for Planning	AG	26.05.20	NR
P1	First Issue of Drawing	AG	11.05.20	AG



Project Management • Architecture • Building Surveying • Cost Consultancy

Client
IPiF c/o LGIM

Project
Self Storage Development
Molly Millars Lane, Wokingham

Drawing Title
Proposed Elevations (Sheet 01)

Status Purpose of Issue
S2 SUITABLE FOR INFORMATION

Drawn by	AG	Created	04.02.20
C4 Job no.	19055	Scale	As indicated @ A1

Dwg no.	19055-C4P-V1-ZZ-DR-A-2101	Rev	P4
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Agenda Item 26.

Application Number	Expiry Date	Parish	Ward
201370	16/09/2020	Earley	Bulmershe and Whitegates;

Applicant	Mr David Parsons, Reading GHT, Shinfield Court, Church Lane, Three Mile Cross, RG7 1HB
Site Address	20 Pitts Lane, Earley, RG6 1BT
Proposal	Outline application for the erection of 1 no. dwelling (Use Class C3) with access, layout and scale to be determined.
Type	Outline
PS Category	13
Officer	Senjuti Manna
Reason for determination by committee	Listed by Councillor Shirley Boyt. Reason for listing: <ul style="list-style-type: none"> • Lack of parking • Building line is forward of neighbouring properties.

FOR CONSIDERATION BY	Planning Committee on Wednesday, 9 September 2020
REPORT PREPARED BY	Assistant Director – Place

SUMMARY
<p>The outline proposal is for the erection of a two storey 4 bedroom dwelling in front of an existing church hall that was earlier occupied by an electricity pylon with access, layout and scale to be determined. The application is presented to the committee since it has been listed by Councillor Shirley Boyt.</p> <p>Objections have been raised on lack of parking, impact on character of the area due to intrusive layout and impact on SULV grounds. The outline proposal is for a dwelling of maximum 4 no. bedrooms. The WBC parking standard for a 4 bedroom dwelling requires 3 off-road parking spaces, which has been complied with. The church hall has been subject to a recent planning consent for an extension (ref: 200564) and as part of the scheme the car parking for the hall has been amended allowing additional space for the current proposal to the front.</p> <p>The character of the area is predominately associated with two storey detached dwellings on varying plot sizes. The proposal would maintain this character. Additionally, there is no consistent building line within immediate neighbourhood. The proposal would retain the existing front hedging and a front garden of more than 8m will be maintained. For these reasons, the proposal is not considered to appear an intrusive feature within the street scene.</p> <p>Additional parking for the church hall has been approved to the rear of the building and within SULV (ref.: 200564) which is currently used as overflow parking area and is an area of reinforced grass. Approved plans for the church hall extension show that parking area will be retained as reinforced grass. Trees and Landscape officer had commented that this is acceptable as long as the area is not paved and additional tree planting is provided adjacent to the rear boundary of the site to mitigate the additional built elements within the plot (parking and greater massing of building) within the SULV and views from the SULV. This has been secured using condition 5 of the planning approval 200564 and as such the proposal is not considered to have any additional harmful impact on SULV.</p>

There are no objections to the proposal with regard to drainage & flooding; ecology and archaeology. The application is accordingly recommend for approval for the reasons set out in this report.

PLANNING STATUS

- Major Development Location
- Within 35m of Site of Urban Landscape Value (Bulmershe)
- Overhead Electricity Cable Consultation Zone
- Flood zone 1
- TPO 1152-2006-G1 (group of 2x Scots Pine) on north-eastern boundary
- SSSI Impact Risk Zone
- Thames Water consultation zone

RECOMMENDATION

That the committee authorise the GRANT OF PLANNING PERMISSION subject to the following conditions and informatives:

Conditions:

1. Timescales

No development shall commence until details of the appearance and landscaping (hereinafter called "the reserved matters") have been submitted to and approved in writing by the local planning authority and the development shall be carried out as approved.

Application for approval of the reserved matters shall be made to the local planning authority not later than three years from the date of this permission.

The development hereby permitted shall begin no later than two years from the date of approval of the last of the reserved matters to be approved.

Reason: In pursuance of s.92 of the Town and Country Planning Act 1990 (as amended by s.51 of the Planning and Compulsory Purchase Act 2004).

2. Approved details

This permission is in respect of the submitted application plans and drawings numbered 5062-11A received by the local planning authority on 10/08/2020 and 5062-10J (relating to the access, layout and scale of the new dwelling only) received by the local planning authority on 19/08/2020. The development shall be carried out in accordance with the approved details unless other minor variations are agreed in writing after the date of this permission and before implementation with the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure that the development is carried out in accordance with the application form and associated details hereby approved.

3. External materials

Before the development hereby permitted is commenced, samples and details of the materials to be used in the construction of the external elevations of the building/s shall have first been submitted to and approved in writing by the local planning

authority. Development shall not be carried out other than in accordance with the so-approved details.

Reason: To ensure that the external appearance of the building is satisfactory.

Relevant policy: Core Strategy policies CP1 and CP3.

4. Boundary treatment

Before the development hereby permitted is commenced details of all boundary treatment(s) shall first be submitted to and approved in writing by the local planning authority. The approved scheme shall be implemented prior to the first occupation of the development or phased as agreed in writing by the local planning authority. The scheme shall be maintained in the approved form for so long as the development remains on the site.

Reason: In the interests of amenity and highway safety. Relevant policy: Core Strategy policies CP1, CP3 and CP6.

5. Electric vehicle charging

Prior to commencement of development, details for an Electric Vehicle Charging Strategy serving the development shall be submitted for approval in writing by the Local Planning Authority. This strategy should include details relating to on-site infrastructure, installation of charging points and future proofing of the site unless otherwise agreed in writing by the Local Planning Authority.

Reason: In order to ensure that secure electric vehicle charging facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 9 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07 and Appendix 2 and the Council's Parking Standards Study Report (2011).

6. Drainage details to be confirmed

No construction shall take place until details of the drainage system for the site have been submitted to and approved in writing by the LLFA. The details shall include how the site currently drains and will be drained after proposed development with consideration to SuDS. The approved scheme shall be implemented prior to the first occupation of the development and shall be maintained in the approved form for as long as the development remains on the site.

Reason: This is to prevent increased flood risk from surface water run-off. Relevant policy: NPPF Section 10 (Meeting the Challenge of Climate Change, Flooding and Coastal Change), Core Strategy policy CP1 and Managing Development Delivery Local Plan policies CC09 and CC10.

7. Landscape details

Prior to the commencement of the development there shall be submitted to and approved in writing by the local planning authority a scheme of landscaping, which shall specify species, planting sizes, spacing and numbers of trees/shrubs to be planted, and any existing trees or shrubs to be retained. Planting shall be carried out

in accordance with the approved details in the first planting and seeding seasons following the occupation of the building(s). Any trees or plants which, within a period of 5 years from the date of the planting (or within a period of 5 years of the occupation of the buildings in the case of retained trees and shrubs) die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species or otherwise as approved in writing by the local planning authority.

Reason: To ensure adequate planting in the interests of visual amenity. Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03, TB06 and TB21.

8. Protection of Existing Trees

- a) No development or other operation shall commence on site until an Arboricultural Method Statement and Scheme of Works which provides for the retention and protection of trees, shrubs and hedges growing on or adjacent to the site in accordance with BS5837: 2012 has been submitted to and approved in writing by the local planning authority. No development or other operations shall take place except in complete accordance with the details as so-approved (hereinafter referred to as the Approved Scheme).
- b) No operations shall commence on site in connection with development hereby approved (including any tree felling, tree pruning, demolition works, soil moving, temporary access construction and or widening or any other operation involving use of motorised vehicles or construction machinery) until the tree protection works required by the Approved Scheme are in place on site.
- c) No excavations for services, storage of materials or machinery, parking of vehicles, deposit or excavation of soil or rubble, lighting of fires or disposal of liquids shall take place within an area designated as being fenced off or otherwise protected in the Approved Scheme.
- d) The fencing or other works which are part of the Approved Scheme shall not be moved or removed, temporarily or otherwise, until all works including external works have been completed and all equipment, machinery and surplus materials removed from the site, unless the prior approval in writing of the local planning authority has first been sought and obtained.

Reason: To secure the protection throughout the time that the development is being carried out of trees shrubs or hedges growing within or adjacent to the site which are of amenity value to the area, and to allow for verification by the local planning authority that the necessary measures are in place before development and other works commence Relevant policy: Core Strategy policy CP3 and Managing Development Delivery Local Plan policies CC03 and TB21.

9. Parking and turning space to be provided

No part of any building(s) hereby permitted shall be occupied or used until the vehicle parking and turning space has been provided in accordance with the approved plans. The vehicle parking and turning space shall be retained and maintained in accordance with the approved details and the parking space shall remain available

for the parking of vehicles at all times and the turning space shall not be used for any other purpose other than vehicle turning.

Reason: To provide adequate off-street vehicle parking and turning space and to allow vehicles to enter and leave the site in a forward gear in the interests of road safety and convenience and providing a functional, accessible and safe development and in the interests of amenity. Relevant policy: Core Strategy policies CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

10. Cycle parking - details required

Prior to the first occupation of the development hereby permitted details of secure and covered bicycle storage/ parking facilities for the occupants of [and visitors to] the development shall be submitted to and approved in writing by the local planning authority. The cycle storage/ parking shall be implemented in accordance with such details as may be approved before occupation of the development hereby permitted, and shall be permanently retained in the approved form for the parking of bicycles and used for no other purpose.

Reason: In order to ensure that secure weather-proof bicycle parking facilities are provided so as to encourage the use of sustainable modes of travel. Relevant policy: NPPF Section 9 (Sustainable Transport) and Core Strategy policies CP1, CP3 & CP6 and Managing Development Delivery Local Plan policy CC07.

11. Access surfacing

No building shall be occupied until the vehicular access has been surfaced with a permeable and bonded material across the entire width of the access for a distance of 10 metres measured from the carriageway edge.

Reason: To avoid spillage of loose material onto the highway, in the interests of road safety. Relevant policy: Core Strategy policy CP6.

12. Access to be provided

No building shall be occupied until the access has been constructed in accordance with the approved plans.

Reason: In the interests of highway safety and convenience. Relevant policy: Core Strategy policies CP3 & CP6.

13. Biodiversity enhancement

Prior to the occupation of the development, details of biodiversity enhancements, to include bird and bat boxes, tiles or bricks on and around the new buildings and native and wildlife friendly landscaping (including gaps at the bases of fences to allow hedgehogs to traverse through the gardens), shall be submitted to and approved in writing by the council. The biodiversity enhancements shall thereafter be installed as approved.

Reason: To incorporate biodiversity in and around developments. Relevant policy: Paragraph 175 of the NPPF.

14. Development parameters

Notwithstanding the details to be finalised at reserved matters stage, the development hereby permitted shall not exceed the following parameters:

Bedrooms: 4

Ridge height: +7.40m

Eaves height: +4.90m

Gross Internal Floor Area: 143 sq.m.

Length of any elevation: 11m

*Reason: To ensure that the proposed development is appropriate for this location.
Relevant policies: Core Strategy policies CP1 and CP3 and MDD Local Plan Policy TB06.*

Informatives:

1. CIL liable development

The development hereby permitted is liable to pay the Community Infrastructure Levy. This is a matter for the developer. The Liability Notice issued by Wokingham Borough Council will state the current chargeable amount. Anyone can formally assume liability to pay, but if no one does so then liability will rest with the landowner. There are certain legal requirements that must be complied with. For instance, whoever will pay the levy must submit an Assumption of Liability form and a Commencement Notice to Wokingham Borough Council prior to commencement of development. For more information see - <http://www.wokingham.gov.uk/planning/developers/cil/cil-processes/>.

2. Access construction

The Head of Highways at the Council Offices, Shute End, Wokingham [0118 9746000] should be contacted for the approval of the access construction details before any work is carried out within the highway (including verges and footways). This planning permission does NOT authorise the construction of such an access or works.

3. Thames Water Requirements

A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. Where the developer proposes to discharge the surface water to a public sewer, prior approval from Thames Water Developer Services will be required. The developer is reminded that there are water mains crossing or close to the proposed development. Thames Water do not permit the building over or construction within 3m of water mains. The developer is advised to read Thames Water's guide for working near or diverting the pipes. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx. 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development. Permit enquiries should be directed to Thames Water's Risk

Management Team by telephoning 020 3577 9483 or by emailing trade.effluent@thameswater.co.uk.

4. Within curtilage

Whilst it would appear from the application that the proposed development is to be entirely within the curtilage of the application site, the granting of planning permission does not authorise you to gain access or carry out any works on, over or under your neighbour's land or property without first obtaining their consent, and does not obviate the need for compliance with the requirements of the Party Wall etc. Act 1996.

5. Energy and water savings

The developer is encouraged to utilise available technologies to reduce water consumption to achieve internal potable water consumption targets of 105 litres or less per person per day and for generating 10% of the predicted energy requirement of the development from decentralised renewable and/or low carbon sources. Installation of appropriate heating and ventilation system to reduce energy consumption is encouraged.

6. Pre-commencement conditions

The applicant is reminded that this approval is granted subject to conditions which must be complied with prior to the development starting on site. Commencement of the development without complying with the pre-commencement requirements may be outside the terms of this permission and liable to enforcement action. The information required should be formally submitted to the Council for consideration with the relevant fee. Once the details have been approved in writing the development should be carried out only in accordance with those details. If this is not clear please contact the case officer to discuss.

7. Positive and pro-active approach

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development as set out in the NPPF.

PLANNING HISTORY

Application No.	Description	Decision & Date
200564	Full planning application for the proposed first floor extension to the Gospel Hall. Access to the first floor via external stairs also changes to car parking and landscaping.	Approved 22/05/2020
200563	Outline application for the proposed erection of 2No 4-bed dwellings (Use Class C3) with access, layout and scale to be considered following removal of electricity pylon.	Application withdrawn 13/05/2020

C/2008/1798	Application for submission of details to comply with the following conditions: Cond.2- Proposed planting scheme, Cond.3- Proposed fencing, Cond.4- Details of materials (of allowed appeal APP/X0360/A/08/2066861)	Approved 16/10/2008
F/2008/0218	Proposed demolition of existing residential bungalow and the erection of a two storey building with Gospel Hall on ground floor and caretakers flat on first floor with associated car parking facilities.	Approved 20/06/2008; Not implemented
X0360/A/08/2066861	Appeal against refusal of F/2007/1479. Appeal decision is included in Appendix 1.	Appel allowed 17/06/2008
F/2007/1479	Proposed demolition of existing residential bungalow and the erection of a single storey Gospel Hall with associated car parking facilities.	Refused 01/08/2007
F/2006/6663	Proposed erection of a single storey gospel hall and detached caretakers dwelling. Demolition of existing dwelling.	Refused 01/03/2006

SUMMARY INFORMATION

For Residential

Site Area	530 sq.m with access to the church hall; 360 sq.m without the access.
Existing units	0
Proposed units	1
Existing density – dwellings/hectare	0
Proposed density - dwellings/hectare	18.87 dwellings per hectare
Number of affordable units proposed	0
Previous land use	Front amenity of church hall
Proposed Public Open Space	N/A
Existing parking spaces	0
Proposed parking spaces	3

CONSULTATION RESPONSES

Berks, Bucks and Oxon Wildlife Trust	No comments received
Crime Prevention Design Officer	No comments received
National Grid	No comments received
Royal Berkshire Fire and Rescue	No comments received
Southern Gas Networks	No comments received
SEE Power Distribution	No comments received
Thames Water	Recommended approval subject to informative.
NHS Wokingham Clinical Commissioning Group	No comments received
WBC Biodiversity	Recommended approval subject to condition
WBC Economic Prosperity and Place (Community Infrastructure)	No comments received
WBC Drainage	Recommended approval subject to condition
WBC Education (School Place Planning)	No comments received
WBC Environmental Health	No comments received

WBC Highways	Recommended approval subject to condition
WBC Tree & Landscape	Recommended approval subject to condition
WBC Cleaner & Greener (Waste Services)	No comments received
WBC Property Services	No comments received
WBC Public Rights of Way	No comments received

REPRESENTATIONS

Town/Parish Council: Recommended refusal due to the loss of parking to the Gospel Hall, until such time as the parking amendments approved under 200564 are implemented.

(Officer's note: Parking for the church hall has already been secured by conditions 2 and 7 of the approval 200564).

Requested for conditions securing:

- i. Nationally described internal space standards in terms of both floor area and room sizes;
- ii. Parking spaces are to be provided in accordance with approved drawings; and
- iii. Submission of landscape details as a pre-commencement condition in case officers are minded to recommend an approval.

(Officer's note: Internal space and room sizes will be considered at Reserved Matters stage, parking is secured using condition 9 and landscape details are secured using condition 7).

Local Members: Committee call-in received from Councillor Shirley Boyt if the application is recommended for approval. Reason for listing:

- i. Substandard parking for both the proposed dwelling and the church hall resulting in additional parking for the church hall to be located within SULV that was prohibited by the original approval F/2008/0218.
- ii. The proposed dwelling is forward of the building line of neighbouring properties.

(Officer's note: The proposal includes 3 off-road parking spaces which is acceptable. Parking for the church hall has already been approved under extant permission 200564. Both appeal decision for F/2007/1479 and planning permission F/2008/0218 did not include any condition specifically restricting parking within SULV. Moreover, permission F/2008/0218 was not implemented. The church hall currently uses the land within SULV as overflow car park. WBC Trees and Landscape Officer did not raise any objection to the application 200564 since the parking spaces within SULV would not include paving. Moreover, additional landscaping to the rear of the site is secured using condition 7 of the church hall extension permission. There is no consistent building line in the immediate neighbourhood. Additionally, the proposed front building line will be behind the principal elevation line of neighbouring property no. 18 Pitts Lane, paragraph 11).

Neighbours: 2 representations were received from the occupiers of 18 Pitts Lane and The ACER The Whitegates Residents Association objecting to the proposal on following grounds:

- Loss of light impact on no. 18 since the proposed dwelling will be sited forward of the neighbouring property.

(Officer's note: *The proposed dwelling would maintain acceptable separation distance from neighbouring property no. 18. The applicant has demonstrated with the help of a BRE recommended 45 degree line that there will not be any loss of light impact on the habitable window of no. 18. Additionally, no. 18 will be located on the south-western side of the new dwelling and due to its favourable orientation, no loss of light impact is anticipated).*

- The proposal lacks adequate parking. There is no provision for visitor parking within or outside the plot.

(Officer's note: *Proposed level of parking for the new dwelling meets WBC standards and is acceptable).*

- Car parking for the church hall is now included within the SULV which prohibited as a condition of the original approved plans F/2008/0218.

(Officer's note: *Parking for the church hall has already been approved under extant permission 200564. Planning permission F/2008/0218 has not been implemented and the appeal decision for F/2007/1479 does not include a condition specifically restricting parking within SULV).*

- The building line of the proposed new property is much further forward than all the other properties in Pitts Lane. It would therefore be intrusive and out of place at its current proposed location.

(Officer's note: *There is no consistent building line within the immediate neighbourhood).*

- Potential noise disturbance for the future occupiers arising from the neighbouring social club use.

(Officer's note: *Environmental Health has not raised any objection to the proposal).*

- Soft landscaping should be incorporated in the front garden in line with policy TB06.

(Officer's note: *A landscape condition is included to secure this).*

APPLICANTS POINTS

- Previously an electricity pylon occupied the front section of the site. Following its removal, the site is now available for residential development.
- The rear section of the site with existing church hall benefits from an extant permission 200564 that delivers 16 parking spaces and frees up the front section of 20 Pitts Lane for the subject proposal.
- The site falls within a major development location.
- The Site of Urban Landscape Value only extends into the rear portion of the site covering the reinforced grass area.
- The site is not a residential garden development according to policy TB06.

(Officer's note: *MDD Local Plan Policy TB06 is applicable for both existing and former residential gardens. 20 Pitts Lane was originally a residential property and the site formed part of its front garden. As such, policy TB06 is applicable in this instance).*

- The outline proposal is for a two-storey detached dwelling.
- The proposed footprint delivers a 4+ bed house with GIA 143 sq.m.
- Existing access will be retained and widened to 5m with footpath access from the street.
- The proposal provides 3 dedicated off-road car parking spaces and 2 cycle spaces to the rear of the house.
- The house is provided with large front and rear private amenity garden space.
- The site layout creates development within the general building form of the street. Pitts Lane is characterised by large detached dwellings, so the proposal is in keeping.
- The proposed scale is of maximum two stories to match the neighbouring properties.
- The proposal is carefully designed to minimise any harmful impact on neighbouring property no. 18 Pitts Lane.

PLANNING POLICY		
National Policy	NPPF	National Planning Policy Framework
Adopted Core Strategy DPD 2010	CP1	Sustainable Development
	CP3	General Principles for Development
	CP6	Managing Travel Demand
	CP7	Biodiversity
	CP9	Scale and Location of Development Proposals
	CP17	Housing Delivery
Adopted Managing Development Delivery Local Plan 2014	CC01	Presumption in Favour of Sustainable Development
	CC02	Development Limits
	CC03	Green Infrastructure, Trees and Landscaping
	CC04	Sustainable Design and Construction
	CC06	Noise
	CC07	Parking
	CC09	Development and Flood Risk (from all sources)
	CC10	Sustainable Drainage
	TB06	Development of private residential gardens
	TB07	Internal Space standards
	TB21	Landscape Character
	TB22	Sites of Urban Landscape Value
	TB23	Biodiversity and Development
Supplementary Planning Documents (SPD)	BDG	Borough Design Guide – Section 4
		DCLG – Nationally Described Space Standards
		CIL Guidance
		Sustainable Design and Construction Supplementary Planning Document

PLANNING ISSUES

Description of Development:

1. The application is for the outline approval of 1 no. two storey 4 bedroom detached dwelling with access, siting and layout to be considered. Details relating to appearance and landscaping will be considered at reserved matters stage. The dwelling would be located on the front section of 20 Pitts Lane that also contains a church hall and associated parking at the rear.
2. The dwelling would utilise the existing access which is proposed to be widened to 5m. A pedestrian access is proposed from the footpath to the front and 3 off-road parking spaces are proposed at the rear. The dwelling will be sited at an average 6m from the front boundary and the existing front boundary hedging will be retained. The proposed rear garden will have a maximum depth of 18m. The dwelling will have the following parameters (maximum). Condition 14 is included to secure these parameters to ensure appropriate scale of development.

Elements	Maximum Parameters
Storey	2
Bedrooms	4
Ridge Height	+7.40m
Eaves Height	+4.90m
Gross Internal Floor Area	143 sq.m
Length of any elevation	11m

Principle of Development:

3. The National Planning Policy Framework has an underlying presumption in favour of sustainable development which is carried through to the local Development Plan. The Managing Development Delivery Local Plan (MDD) Policy CC01 states that planning applications that accord with the policies in the Development Plan for Wokingham Borough will be approved without delay, unless material considerations indicate otherwise.
4. Policy CC02 of the MDD sets out the development limits for each settlement as defined on the policies map and therefore replaces the proposals map adopted through the Core Strategy, as per the requirement of policy CP9. Policy CP9 sets out that development proposals located within development limits will be acceptable in principle, having regard to the service provisions associated with the major, modest and limited categories. As the site is within a major development location, the proposal is acceptable in principle.
5. The site was part of a residential front garden until 2008 when permission was granted to replace the existing bungalow with a church hall and as such, MDD Local Plan policy TB06 is applicable in this instance. Policy TB06 of the MDD Local Plan states that proposals for new residential development within the curtilage of existing or former private residential gardens will only be granted where the proposal makes a positive contribution to the character of the area. Policy TB06 follows the recommendations contained in paragraph 70 of the NPPF which states that local authorities "*should consider the case for setting out policies to resist inappropriate*

development of residential gardens, for example where development would cause harm to the local area”.

Character of the Area:

6. The application site is located on the south-eastern side of Pitts Lane, a predominantly residential road characterised by linear form of development. The immediate neighbourhood is occupied primarily by two storey detached dwellings of varying designs on varying plot sizes and with varying building lines. There are currently 2 non-residential properties within the immediate neighbourhood – a social club that adjoins the north-eastern boundary of the application site and a church hall that currently occupies the entire plot at 20 Pitts Lane. A residential property (18 Pitts Lane) adjoins the south-western boundary. All neighbouring properties benefit from large front gardens of varying depths with mature vegetation that help in maintaining semi-urban character of the area.
7. The application site was formerly part of a residential front garden that also included an electricity pylon. The original bungalow at 20 Pitts Lane was granted permission in 2008 to be replaced by a single storey Gospel Hall by appeal inspector (planning ref. F/2007/1479). A second permission for a two storey church hall was later granted by the Council (ref.: F/2008/0218) that has not been implemented.
8. During the determination of the appeal, the inspector considered that the site was constrained by noise from the adjacent social club, the electricity pylon to the front of the site and designated Site of Urban Landscape Value to the rear and for these reasons, a residential use was found impractical. However, following the removal of the electricity pylon, the front section of the site is now available for development and the current scheme proposes a residential unit on this land.
9. The immediate neighbourhood of the application site includes 2 storey detached properties of varying designs, sizes and heights and as such it is considered that a well-designed two storey dwelling would not appear out of character of the area. There is an existing break in the linear residential development along the road due to the presence of 2 non-residential buildings at 20 and 22 Pitts Lane (Church Hall and Social Club). The current proposal would reduce the gap by introducing a new residential unit in front section of the site.
10. The proposed dwelling would have a maximum of 7.40m of ridge height which would be similar to neighbouring properties. The indicative plans suggest that the maximum gross internal area would be 143 sq.m with 84 sq.m of building footprint that would result in 23% of plot coverage. Whilst this will be higher than the immediate neighbouring property at no. 18, properties on the opposite side of Pitts Lane have plot coverage similar to the current proposal and as such it is considered acceptable. The dwelling would retain the front boundary hedging and as such the semi-urban character of the area will be maintained. Additional front garden landscaping is secured using condition 7.
11. Objections have been raised for the proposal being forward of the building lines of other neighbouring properties. There is no residential property immediately to the north-east of the site. Residential properties to the south-west have varying building lines, see figure 1 below. Additionally, the site plan of the proposal indicates that the new dwelling will be set behind the building line of neighbouring property no. 18

(figure 2). As such, the proposal is not considered to appear an intrusive feature within the street scene.



Fig. 1 Building line of neighbouring properties

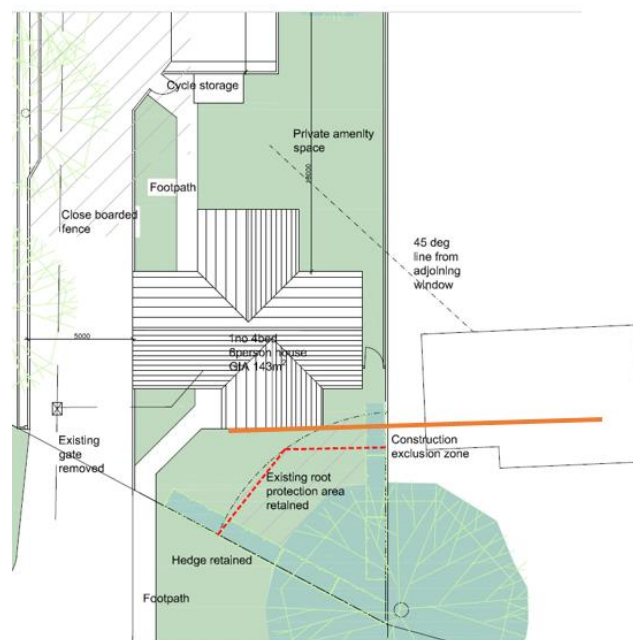


Fig. 2 Building line of the new dwelling in reference to property no. 18 Pitts Lane

12. For the reasons explained above it is considered that the proposed erection of a two storey 4 bedroom detached property would not lead to an adverse effect upon the character and appearance of the surrounding area. The development, in this regard, would comply with the requirements of Policies CP1 and CP3 of the Core Strategy; Policies CC01, CC02, TB06 and TB21 of the MDD Local Plan and the Borough Design Guide SPD.

Residential Amenities:

13. **Overbearing and Overshadowing:** The outline scheme is not considered to have any significant negative impact on the residential amenity of no. 18 Pitts Lane which is the only residential property adjoining the proposal site. The height of the new dwelling would be similar to the neighbouring property and would not have overbearing impact. Moreover, the proposal would maintain acceptable separation distance with the neighbouring property in line with the Borough design Guide.
14. Objections have been raised on overshadowing impacts of the proposal on property no. 18. The submitted site plan 5062-10J demonstrates that the new dwelling would not have any loss of light impact with the help of a BRE recommended 45 degree line. Moreover, property no. 18 is sited on the south-west of the proposal site and will not be impacted by the shadow of the new building. Additionally, no. 18 does not have any window in the flank elevation facing the application site. As such, no overshadowing impact is considered.
15. **Overlooking:** The current scheme is in the outline form and the window positioning will be finalised at the reserved matters stage as part of the building appearance. Notwithstanding, the indicative plans suggest that the new dwelling will not have any habitable windows at first floor or above facing property no. 18. All rear windows would have outlook over the rear garden and towards the church hall which will be more than 25m from the new dwelling. As such, no overlooking impact is anticipated.

Access and Movement:

16. **Highway Safety:** The proposal is for one dwelling which would utilise the access to the existing gospel hall to the rear of the site. The access road is proposed to be widened to 5.0m and this offers improvement on the existing situation to enable two vehicles to pass. The existing dropped crossing is considered acceptable. Pedestrian access is proposed alongside the access road to the front of the dwellings. This will require works within the public highway verge which will require separate consent. A pedestrian footpath has also been indicated from the car parking spaces to the rear of the dwelling and this provides convenient access.
17. **Traffic Impact:** Additional traffic from the proposed development is not considered to have any additional impact on the existing road network.
18. **Parking:** Three parking spaces have been indicated for the dwelling and this fully complies with the councils parking standards. Each space is 5.0m x 2.5m with adequate manoeuvre and turning space provided. Secure and covered cycle storage has been indicated for two cycles and this is acceptable in principle. The cycle store is an accessible location with footpath access. Detailed design is to be secured by condition. An electric vehicle charging point is recommended in accordance with the WBC highway design guide. A minimum of 1 passive space shall be provided. This is secured by condition 4.
19. The Gospel Hall to the rear has been subject to a recent planning consent for an extension (ref. 200564) and as part of the scheme a parking plan has already been approved. The current proposal would not have any additional impact on the parking requirements of the church hall.

Flooding and Drainage:

20. The development is in Flood zone 1 and there is no objection to the proposal in principle. However, there will be increase in impermeable area and since drainage details have not been provided and the existing drainage details has not been mentioned, a condition is included to secure these details (condition 6).

Landscape and Trees:

21. The whole site is located within a residential area but backs onto Bulmershe Playing fields which is designated as a Site of Urban Landscape Value (SULV). This designation extends into the site to encompass the informal area of parking to the rear of the Gospel Hall. The two Scots Pine trees on the northern boundary close to the front of the site are protected by TPO 1152/2006. There are no other significant trees on site although there are a number of trees on adjoining properties.

22. A revised Arboricultural Impact Assessment dated August 2019 and associated Tree Protection Plan dated 18th August 2020 has been provided with the application which provides details of the trees within and adjoining the site in relation to the single dwelling. This is acceptable and confirms that the dwelling can be constructed without any significant impacts on the adjacent TPO trees and offsite trees to the south. However, the tree protection details are not comprehensive and an arboricultural method statement (AMS) will have to be provided prior to commencement of development in accordance with BS5837:2012 to provide site specific information including inspection and monitoring of the tree protection requirements. This is secured by condition 8.

23. The location of the proposed detached dwelling within the plot is such that the large front gardens associated with dwellings on this side of Pitts Lane cannot be replicated to the extent of the other dwellings along this part of the road. However the existing hedgerow to the front of the site is shown to be retained as part of the proposals with the possibility that some additional small garden trees could be planted within the site to help partially mitigate the visual impact of the new dwelling. A detailed landscape scheme will need to be provided to show new tree planting in this area and relevant specification at the reserved matter stage. This is also secured by condition 7.

24. With regard to the overflow parking for the Gospel Hall as shown on the Site Plan (5062-10J) which is within the SULV, this is already a temporary parking area for the hall and the information provided in the application suggested there will be no change to the informal grasscrete type surfacing already there, therefore there will be no additional harm to the SULV.

Environmental Health:

25. The site is adjacent to an existing social club and comments have been made on potential noise disturbances for the future occupiers of the proposed development. It is acknowledged that the occupiers of the proposed development would experience a degree of noise disturbance, particularly in the rear amenity space. However, the proposed dwelling would not be adversely affected by the existing community hall and social club since the dwelling will be sited more than 25m forward of the club building. Additionally, the new dwelling would maintain more than 40m of separation distance from the club building. It is noted that a residential property, 24 Pitts Lane,

is located within 17m of the social club building and is on the same building line of the club. Similarly, the new dwelling is not considered to experience noise disturbance from the church hall since it will be located approximately 28m from the new dwelling. For these reasons, it is considered that the proposal would not experience a high level of noise disturbance so as to warrant a refusal. There is no suspected contamination on the site or any air quality issues. The WBC Environmental Health Officers have not raised any objection to the proposed development.

Amenity Space for future occupiers:

26. The proposal includes a rear garden of maximum 18m depth. This complies with the requirements of the Borough Design Guide and is considered acceptable. Whilst it is considered that the garden is likely to face some noise disturbances from the social club, the disturbance will not be of high level to render the garden unusable. The proposed rear amenity space will be of appropriate size, will be private and will be able to accommodate typical garden activities.

Internal Space Standards:

27. The internal space standards for new dwellings are set out in the Borough Design Guide and supported by Policy TB07 of the MDD as well as Nationally Described Space Standards. A four bedroom dwelling should provide 6 bed spaces and a minimum gross internal area of 106 sq. metres. The dwelling should also accommodate for a minimum combined floor area of living, dining and kitchen space of 31 sq. metres.
28. Whilst the current proposal is an outline scheme with appearance and landscaping details to be considered at reserved matters stage, it is proposed that the dwelling would have a combined gross internal area of 143 sq. m that will be compliant with the national and local policies. Indicative plans suggest that bedrooms 1 and 2 would comply with the minimum recommended floor space for twin/double bedrooms (11.5 sq metres) and bedroom 3 would comply with that of a single bedroom (7.5m). It is noted that bedroom 4 does not provide adequate space to be considered a bedroom. However, these details can be secured at reserved matter stage. The outline proposal is considered to provide adequate internal space in accordance with local and national policies.

Ecology:

29. The application site comprises of a former residential front garden which was occupied by an electricity pylon until recently. The garden largely comprises well-managed amenity grassland which is of low ecological value. The Ecology report (Dr Jonty Denton), April 2019) has been undertaken to an appropriate standard and concludes that the site is unlikely to host protected species.
30. As such, since protected species and priority habitats are unlikely to be affected by the proposals, there are no objections to this application on ecological grounds. However, in accordance with paragraph 175 of the NPPF, which states that “opportunities to incorporate biodiversity in and around developments should be encouraged” condition 10 is set to ensure that enhancements for wildlife are provided within the new development.

Building Sustainability:

31. Policy CC04 of the MDD Local Plan and the Sustainable Design and Construction SPD require sustainable design and conservation and Policy CC05 encourages renewable energy and decentralised energy networks, with encouragement of decentralised energy systems and a minimum 10% reduction in carbon emissions. There is no suggestion that the proposal would not be able to meet the above obligations. Informative 5 is included to encourage the developer to consider appropriate plumbing, heating and ventilation technology for water and energy savings.

Community Infrastructure Levy (CIL), Special Protection Area (SPA) & Affordable Housing:

32. **Community Infrastructure Levy:** As the proposal is for the construction of a new dwelling, it would be a CIL liable development. The CIL charge for new residential development is set at £365 (index linked) per square metre for any net increase in residential floor space.

33. **Special Protection Area:** The application site is not located within 5km of Thames Basin Heath Special Protection Area and as such the proposed development would not require any mitigation measures in terms of monetary contributions.

34. **Affordable Housing:** The application does not propose a development that would trigger the requirement for affordable housing.

Other:

35. There are no objections to the proposal with regard to archaeology, land contamination and refuse collection. The scheme is considered acceptable in these regards.

The Public Sector Equality Duty (Equality Act 2010)

36. In determining this application the Council is required to have due regard to its obligations under the Equality Act 2010. The key equalities protected characteristics include age, disability, gender, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief. There is no indication or evidence (including from consultation on the application) that the protected groups identified by the Act have or will have different needs, experiences, issues and priorities in relation to this particular planning application and there would be no significant adverse impacts upon protected groups as a result of the development.

CONCLUSION

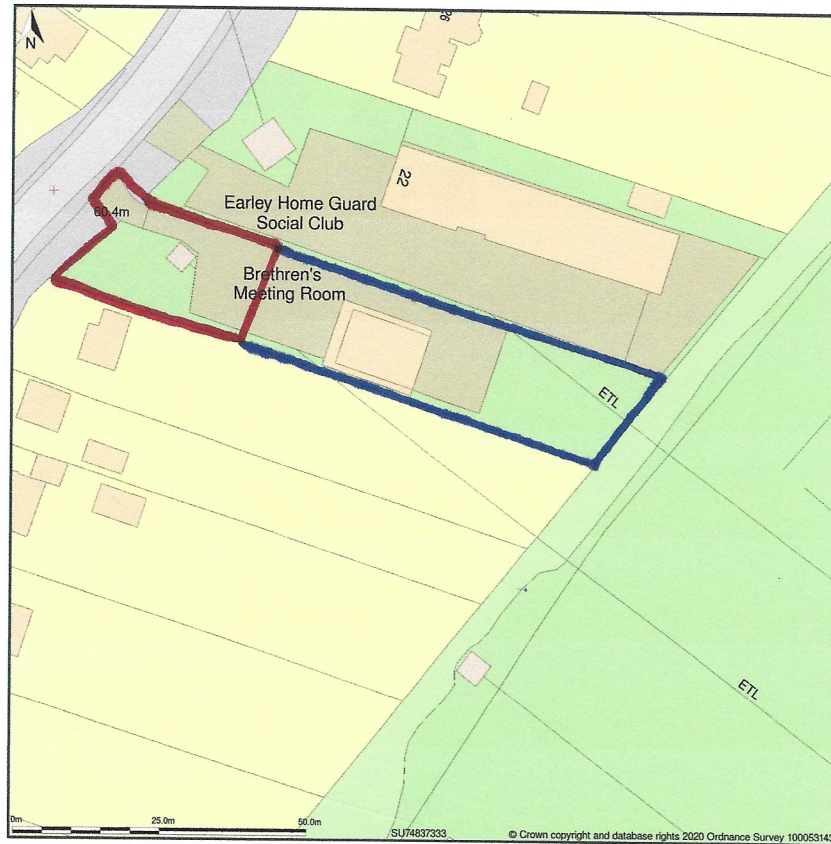
37. The outline proposal is for the erection of a two storey 4 bedroom detached dwelling on the front garden of 20 Pitts Lane which has become available for development following removal of an electricity pylon with access, layout and scale to be considered. The existing residential pattern of development along Pitts Lane is broken due to the presence of two non-residential units near the proposal site and the application scheme would help in reducing this gap.

38. The new dwelling would be of appropriate height and footprint and would be sited behind the principal elevation of neighbouring property no. 18. Due to its detached

nature and traditional design, the proposal is not considered to have any harmful impact on the character of the area. The proposal includes policy compliant amenity spaces and appropriate level of off-road parking. There would not be any harmful impact on existing TPO trees and protection of existing trees are secured using appropriate condition. Additional landscape to the front is secured using condition which can be finalised at the reserved matters stage. The proposal would result in 1 additional market dwelling that will contribute to the Council's 5 year housing land supply. There are no objections to the proposal with regard to highway safety; parking; trees; drainage & flooding; ecology and archaeology. Accordingly, the proposal is recommended for an approval subject to conditions included in the report.

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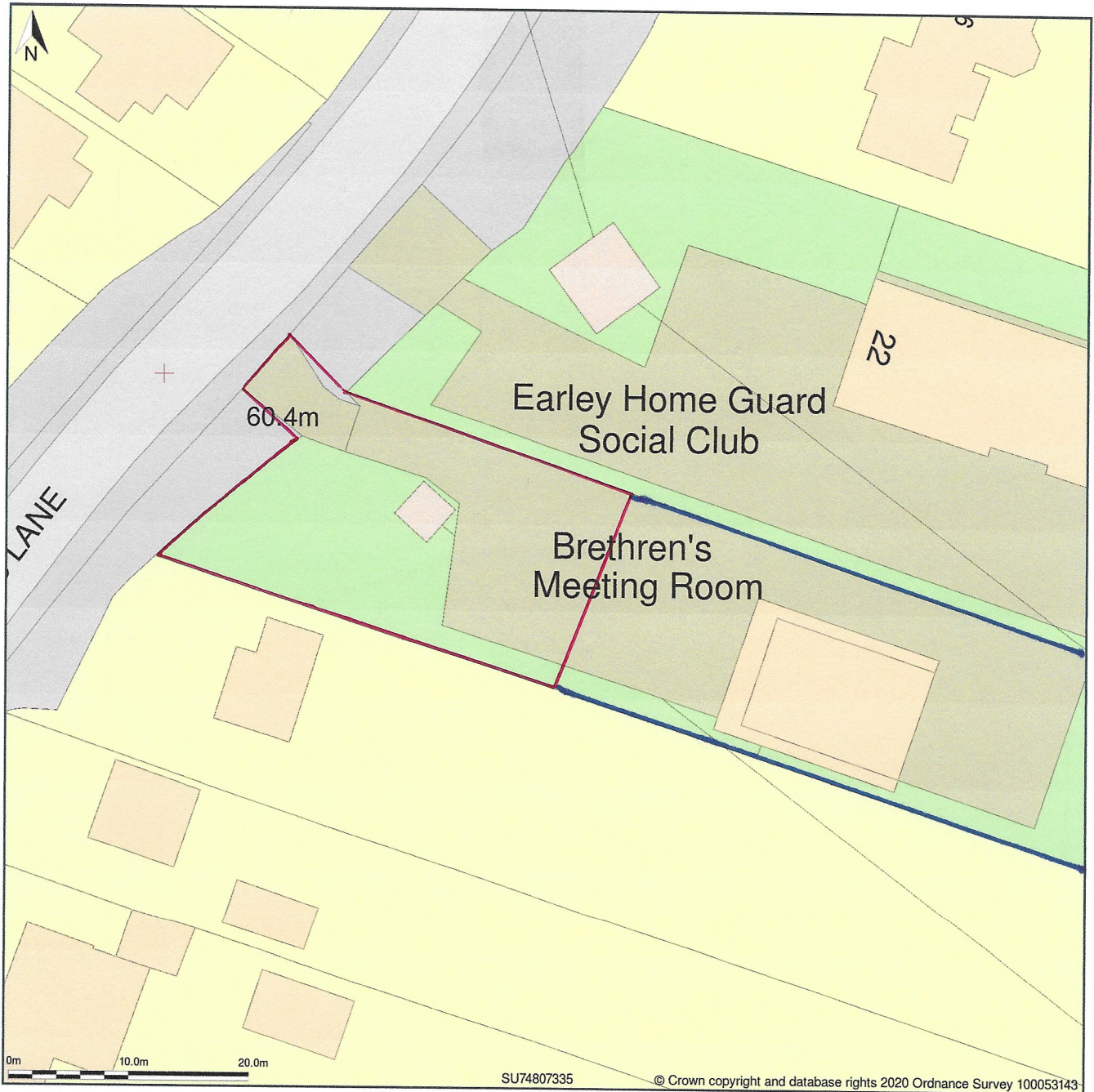


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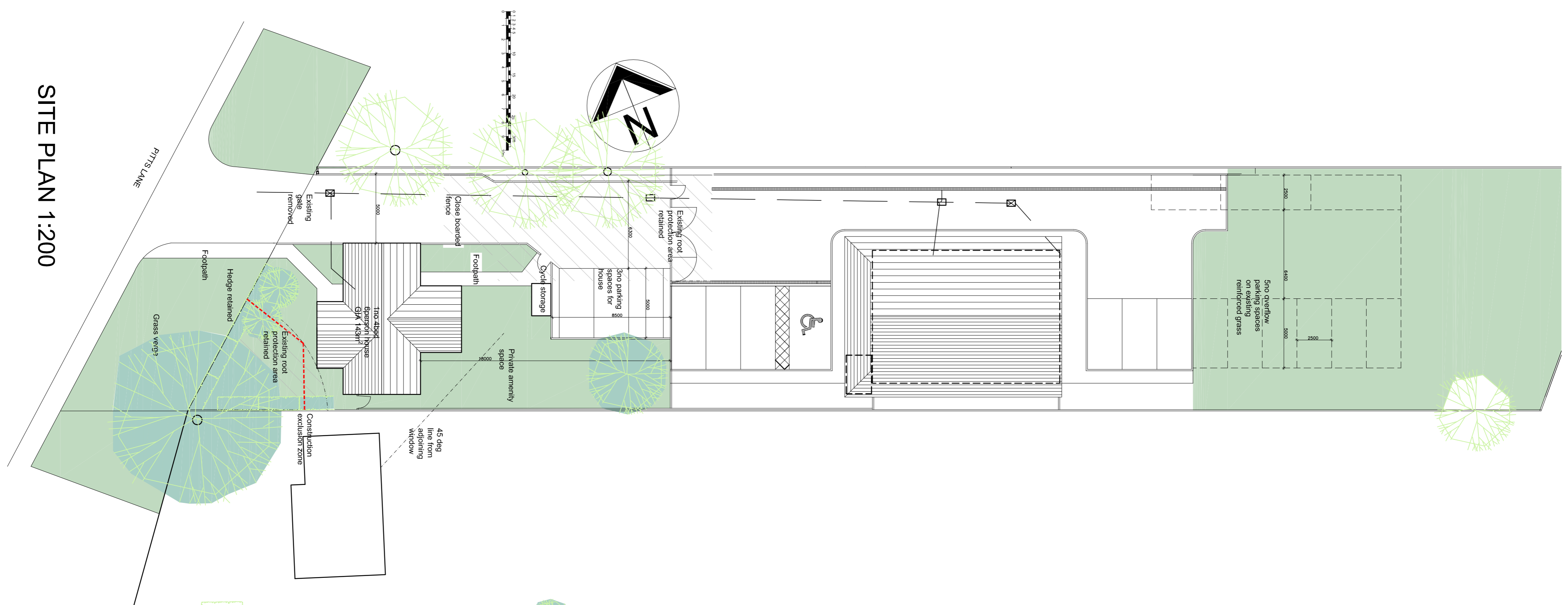
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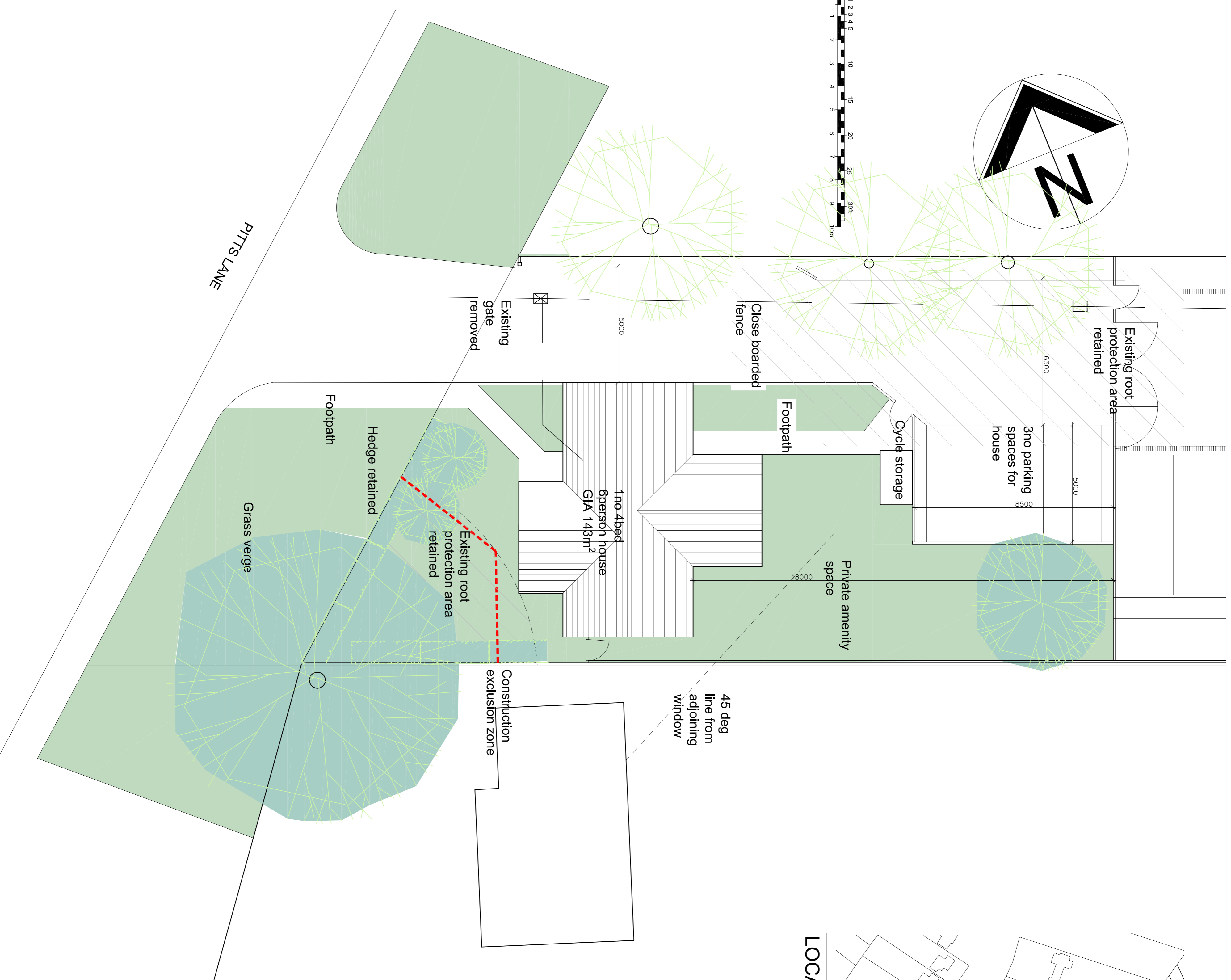
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SITE PLAN 1:200



LOCATION PLAN 1:1250

J Aug 2020 Parking amended

H Aug 2020 Amended

G Jun 2020 Amended

F May 2020 Amended

E May 2020 Amended

D Feb 2020 Amended

C May 2019 Amended

B May 2019 Amended

A Apr 2019 Amended

Rev Date Amendment

CLIENT Reading Gospel Hall Trust

PROJECT Pitts Lane, Earley

DRAWING Proposed Houses

CHECKED <=>

DRAWN JH

X-REF(S) X-existing

PLOT STYLE brox.ctb

DATE April 2019

SCALE 1:50/1:100 @ A1

DRAWING NUMBER 5062-10J

BROCKLEHURST ARCHITECTS LIMITED

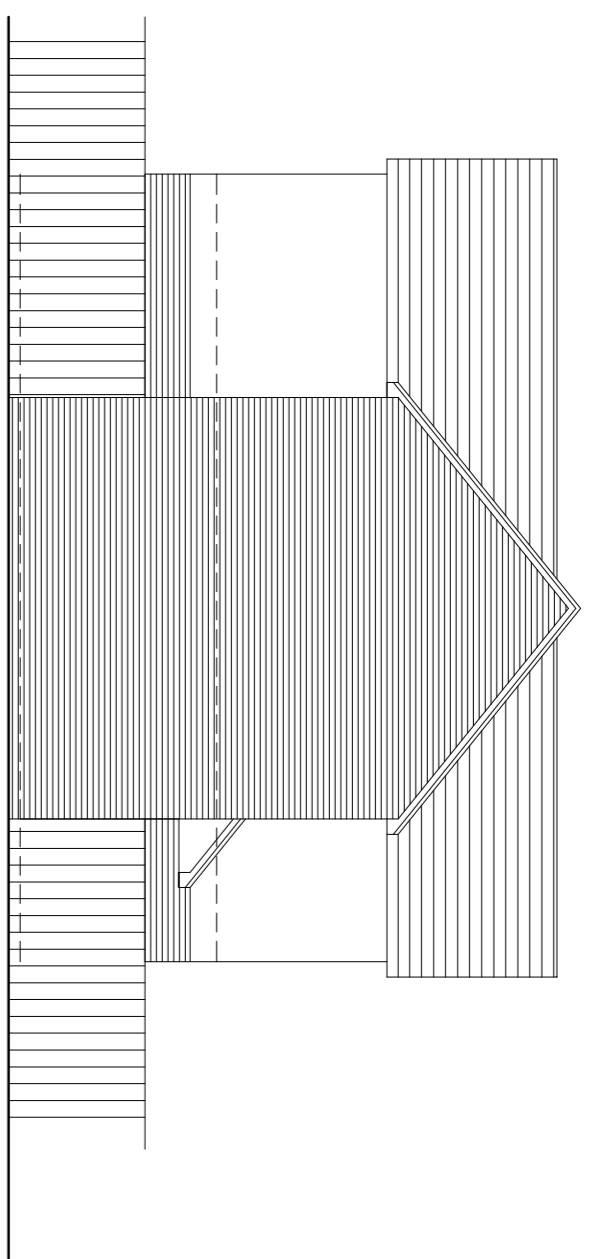
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Buckinghamshire HP14 3AE

01494 521621

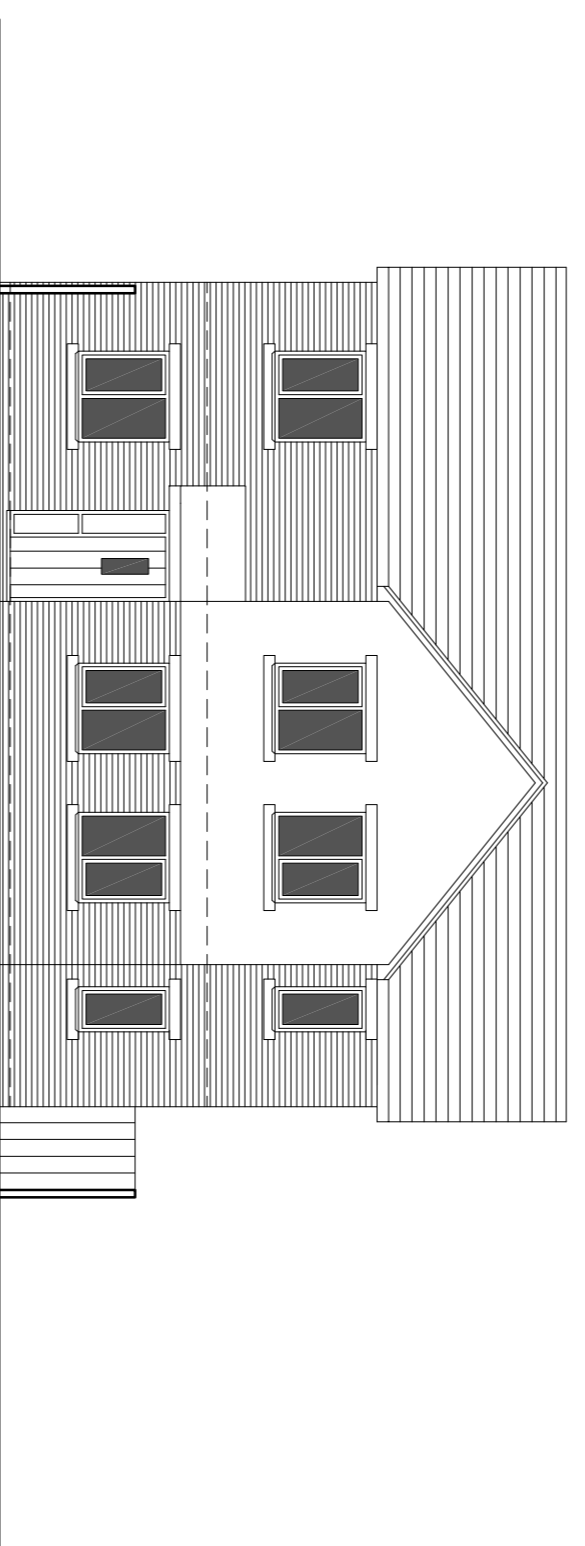
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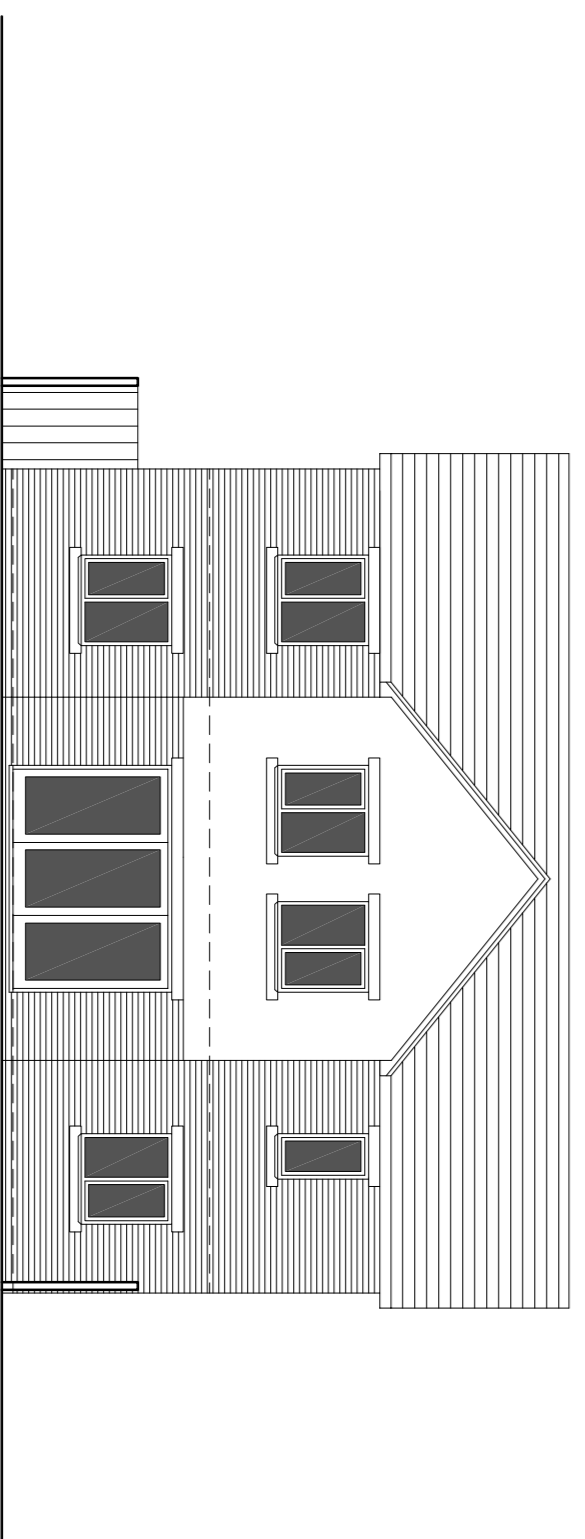


SIDE ELEVATION TO ACCESS ROAD

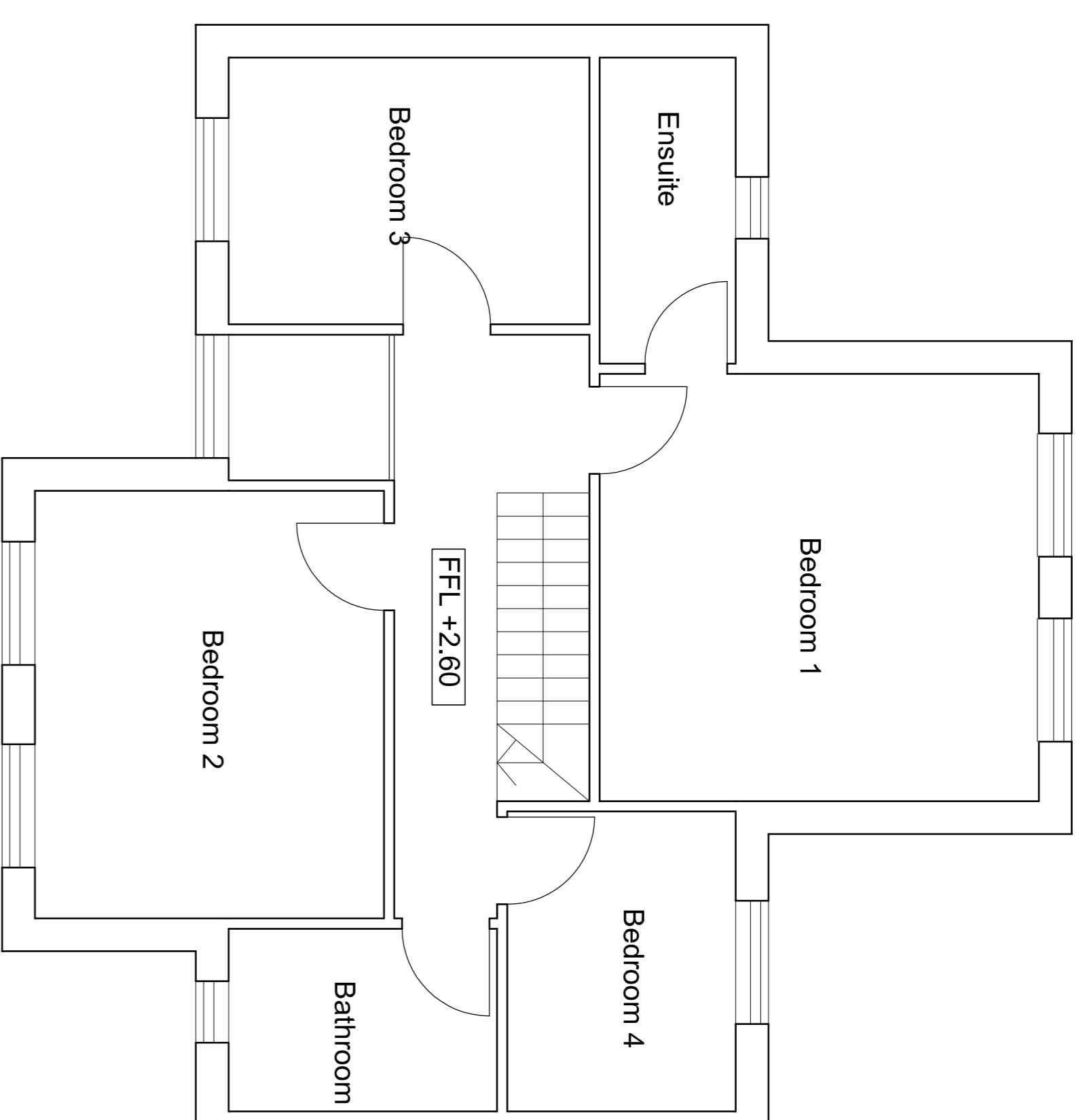
NOT FOR CONSTRUCTION PURPOSES ONLY



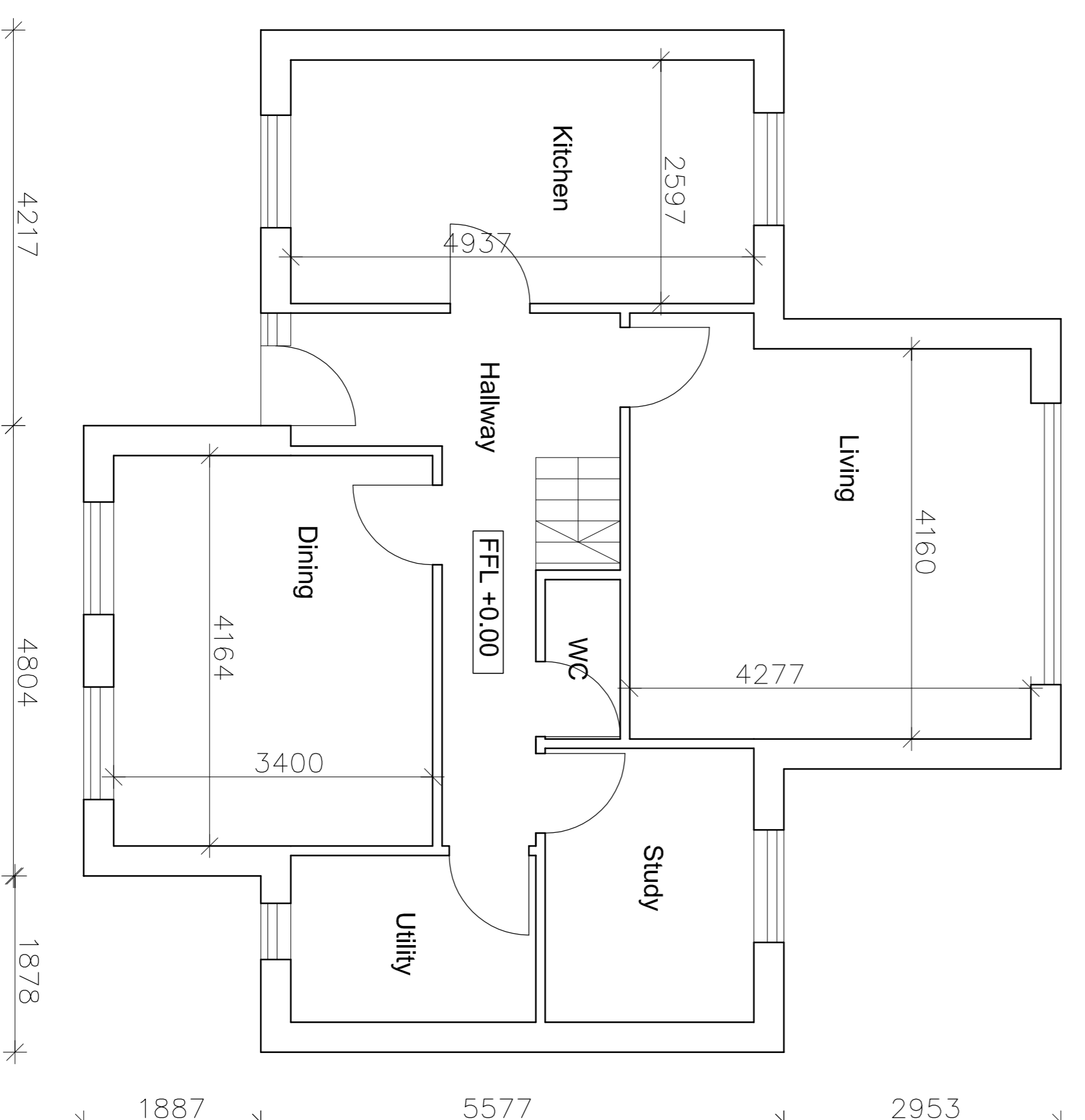
FRONT ELEVATION



REAR ELEVATION



FIRST FLOOR PLAN



GROUND FLOOR PLAN

4 bedroom 6 person house

Note: for scale purposes only

A Aug 2020 Elevations added
Date Amendment

CLIENT
Reading Gospel Hall Trust
PROJECT
Pitts Lane, Earley

DRAWING
Proposed House
Indicative Plans and
Elevations

CHECKED
DRAWN
JH
X-REF(S)
X-existing
PLOT STYLE
brox.ctb
DATE
August 2020

SCALE
1:50/1:100 @ A1
DRAWING NUMBER
5062-11A

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Appeal Decision

Site visit made on 5 June 2008

by **Michael J Muston** BA(Hons) MPhil
MRTPI

an Inspector appointed by the Secretary of State
for Communities and Local Government

The Planning Inspectorate
4/11 Eagle Wing
Temple Quay House
2 The Square
Temple Quay
Bristol BS1 6PN

☎ 0117 372 6372
email:enquiries@pins.gsi.gov.uk

Decision date:

17 June 2008

Appeal Ref: APP/X0360/A/08/2066861

20 Pitts Lane, Earley, Reading, Berkshire RG6 1BT

- The appeal is made under Section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
- The appeal is made by The Sarum Hill Trust against the decision of Wokingham Borough Council.
- The application (Ref F/2007/1479), dated 6 June 2007, was refused by notice dated 1 August 2007.
- The development proposed is the demolition of the existing derelict bungalow and the erection of a single storey gospel hall with associated car parking facilities.

Decision

1. I allow the appeal, and grant planning permission for the demolition of the existing derelict bungalow and the erection of a single storey gospel hall with associated car parking facilities at 20 Pitts Lane, Earley, Reading, Berkshire RG6 1BT in accordance with the terms of the application, Ref F/2007/1479, dated 6 June 2007, and the plans submitted therewith, subject to the following conditions:
 - 1) The development hereby permitted shall begin before the expiration of 3 years from the date of this permission.
 - 2) No development shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved within a timescale to be agreed by the local planning authority.
 - 3) No development shall take place until there has been submitted to and approved in writing by the local planning authority a plan indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed in accordance with the approved details before the building hereby permitted is occupied.
 - 4) No development shall take place until details of the materials to be used in the construction of the external surfaces of the building hereby permitted have been submitted to and approved in writing by the local planning authority. Development shall be carried out in accordance with the approved details.
 - 5) Demolition or construction works shall not take place outside 08:00 hours to 18:00 hours Mondays to Fridays and 08:00 hours to 13:00 hours on Saturdays and at no time on Sundays or Bank or National Holidays.

- 6) The building shall not be occupied until the vehicle parking and turning shown on the submitted plans has been completed and is ready for use. The parking spaces and turning areas shall be maintained as such thereafter.

Main Issues

2. I consider the main issues in this case to be:-

- whether the proposal would result in an unacceptable loss of housing
- the effect of the proposal on the character and appearance of the area
- the effect of the proposal on protected trees.

Reasons

3. Policy WH6 of the Wokingham District Local Plan has been saved and has the status of being part of the development plan. It says that the Council will normally resist proposals involving the loss to other uses of existing residential accommodation. It goes on to set out circumstances where exceptions to this policy may be considered. One of these is that the proposal would provide essential community services. Another is that the amenity of the existing accommodation is so poor as to render inappropriate its retention in residential use. I am not convinced that the gospel hall proposed could be described as being essential as intended in the policy. However, I saw on my site visit that the existing bungalow on site is derelict and appears to have external walls constructed entirely of timber. I do not have before me any evidence that its use has been abandoned. However, its construction and condition lead me to the view that it could not readily be brought back into residential use. In addition, I accept the appellants' arguments that the amenity of the bungalow would in any event be constrained by the proximity of the social club to the north-east.
4. Policy WH6 goes on to say that, for any of the exceptions to be acceptable, the proposed development should replace at least the number of dwellings lost. This suggests that to comply with the policy the appellants would need to design their proposal in such a way as to maintain a residential unit on the site, as well as their proposed gospel hall. I think that this would be difficult given the constraints imposed by noise from the adjacent social club, the electricity pylon to the front of the site and the designated Site of Urban Landscape Value to the rear. I agree with the Council that, by not providing a replacement dwelling, the proposal is not in accordance with Policy WH6. However, I consider that any dwelling on the developable part of the appeal site would be likely to suffer noise nuisance from the operation of the social club. In the circumstances, I consider that material considerations outweigh the conflict with Policy WH6. I conclude that the proposal would not result in an unacceptable loss of housing.
5. The area around the appeal site is overwhelmingly residential, with the exception of the social club immediately to the north-east. The Council points out that the social club was granted permission in 1956 and should not set a precedent for further community facilities in a predominantly residential area which is not in the most sustainable location. I accept that the existence of

one use atypical of the area should not automatically mean that others should follow. However, given existence of the social club next door and the low-key nature of the proposal, I do not consider that the proposal would appear out of place in the area. It would appear different from a residential development but it does not follow that it would automatically be harmful.

6. The appellants tell me that the gospel hall would primarily be used by members of the congregation who live locally and who would walk to the site. Therefore, whilst the appeal site may not be particularly close to other services, it should not generate a large number of additional journeys by private car. I do not consider that the hall, which will be set well back into the site in a similar location to the existing bungalow, would appear out of keeping with its surroundings. I conclude that the proposal would not have an unacceptably adverse effect on the character and appearance of the area, and would comply with Policy WOS3 of the Wokingham District Local Plan (adopted 2004).
7. Since the refusal of the application, the appellants have commissioned an Arboricultural Report. This concludes that the two Scots Pines the subject of a Tree Preservation Order need not be adversely affected by the proposal. It concludes that one further Scots Pine, further back into the site, is the only tree that would need to be felled.
8. The Council has not responded to this report but instead maintains its objection "in the absence of a submitted tree survey or Arboricultural Method Statement". In my opinion, the submitted Arboricultural Report, prepared by a qualified member of the Arboricultural Association, provides the necessary evidence that the protected trees on the site would not be unacceptably harmed. I conclude that the proposal would not have an unacceptable adverse effect on protected trees, and would comply with Policy WBE5 of the Wokingham District Local Plan (adopted 2004).
9. In relation to noise generated nuisance, the Council's delegated report on the application raises no objection on noise grounds. The appellants have provided additional information in respect of noise with their appeal submissions. I do not consider that the proposal would give rise to any unacceptable levels of noise nuisance.
10. The Council has suggested conditions in the event of the appeal being allowed. Those on the submission of details of materials, boundary treatment and landscaping are all necessary in my view to ensure no adverse impact on the character or appearance of the area. A condition limiting construction work would prevent unacceptable noise disturbance to local residents. A condition requiring the provision of the parking and turning spaces would help avoid highway safety problems.
11. Whilst the appellants have submitted an Arboricultural Report sufficient to convince me that the protected trees would not be harmed, I consider that further detail is required as to how the trees and other vegetation on the site would be protected from and during construction. I consider a condition similar to that suggested by the Council is necessary. The material submitted in pursuance of this condition should deal with how drainage works would affect the trees. I do not therefore see a need for a further condition in respect of drainage. The council has suggested a condition preventing the insertion of

windows at first floor level on the south elevation. However, the building would not have a first floor and would not benefit from permitted development rights. I do not therefore consider that such a condition would be necessary.

Michael J Muston

INSPECTOR